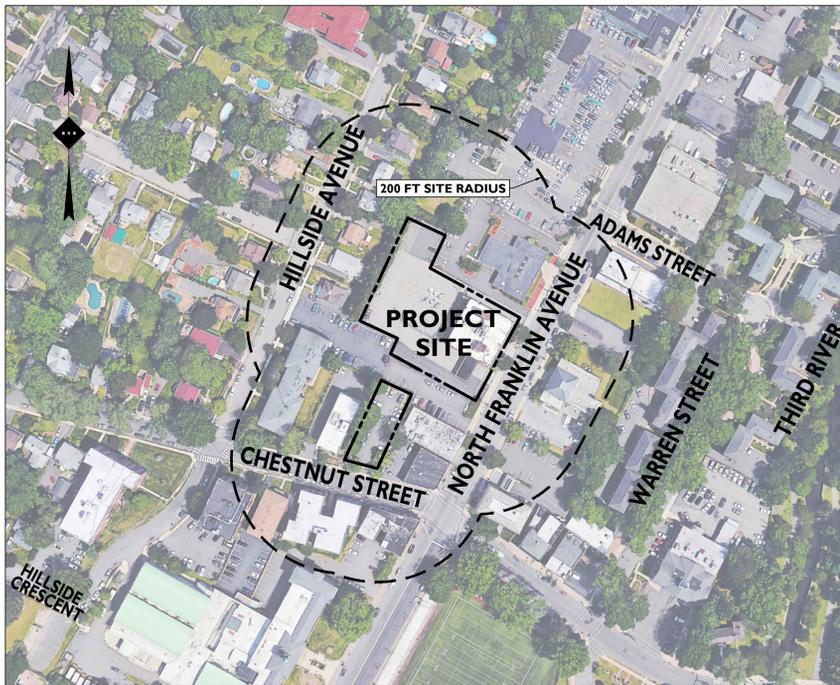


KEY MAP

SCALE: 1" = 2,000'±

BLOCK	LOT	OWNER	OWNER'S ADDRESS
4400	1	PASCACK COMMUNITY BANK	356 FRANKLIN AVENUE, NUTLEY, NJ 07110
4400	2	UNITED STATES POST OFFICE	370 FRANKLIN AVENUE, NUTLEY, NJ 07110
4400	3	FRANKLIN 378 LLC	378 FRANKLIN AVENUE, NUTLEY, NJ 07110
4400	4	BALLENTER REALTY ASSOCIATES, LLC	127 S. WASHINGTON AVENUE, BERGENFIELD, NJ 07621
4400	5	386 FRANKLIN REALTY, LLC	386 FRANKLIN AVENUE, NUTLEY, NJ 07110
4400	6	VILLAGE MANOR ASSOCIATES	P.O. BOX 807, HACKENSACK, NJ 07601
4400	8	KVT CONSULTING, LLC	73 SHINDLER WAY, FAIRFIELD, NJ 07004
4600	11	BILLONES, GREEN C. & ELISA K.	25 HILLSIDE AVENUE, NUTLEY, NJ 07110
4600	12	GONICK, TRAVIS & DIANA	21 HILLSIDE AVENUE, NUTLEY, NJ 07110
4600	13	TOSADO, RAUL	15 HILLSIDE AVENUE, NUTLEY, NJ 07110
4600	14	SIMONNETTY, JOSE & SUSANA	9 HILLSIDE AVENUE, NUTLEY, NJ 07110
4601	14	IBRAHIM, EMAN T.	49 HILLSIDE AVENUE, NUTLEY, NJ 07110
4601	15	CANOVA, MATTHEW & LARISSA	45 HILLSIDE AVENUE, NUTLEY, NJ 07110
4601	16	OLIVARI, EDWARD & YVONNE	41 HILLSIDE AVENUE, NUTLEY, NJ 07110
4601	17	GIARRAFFA, ROBERT & TORRES, A	1460 26TH STREET APT. B, NORTH BERGEN, NJ 07047
4601	18	PARIS, MICHELE	35 HILLSIDE AVENUE, NUTLEY, NJ 07110
4602	1	HILLSIDE MANOR CONDOMINIUMS	6-12 HILLSIDE AVENUE, NUTLEY, NJ 07110
4602	2	NORA ADAMS FAMILY TRUST	85 9TH AVENUE, HAWTHORNE, NJ 07506
4602	3	WALSIFER, MICHAEL P JR & CORKIN, DIANA	30 HILLSIDE AVENUE, NUTLEY, NJ 07110
4602	4	ROLLINO, PASQUALE & ROLLINO, MARIA	32 HILLSIDE AVENUE, NUTLEY, NJ 07110
4602	5	RASUL, RAFIQUE & ROSSANA RASUL	36 HILLSIDE AVENUE, NUTLEY, NJ 07110
4602	6	KIM, DONG WOO & CHUNG, RAN	38-40 HILLSIDE AVENUE, NUTLEY, NJ 07110
4602	7	LAMBERTI, FRANK A.	48 HILLSIDE AVENUE, NUTLEY, NJ 07110
4602	8	MC DEWITT, PATRICK & CYNTHIA	50 HILLSIDE AVENUE, NUTLEY, NJ 07110
4602	9	JIMAN, ROBERT B	54 HILLSIDE AVENUE, NUTLEY, NJ 07110
4602	16	INFUSINO & LOCURCIO TIA VINTOM ASSOCIATES	437 FRANKLIN AVENUE, NUTLEY, NJ 07110
4602	17	VINTOM ASSOCIATES	437 FRANKLIN AVENUE, NUTLEY, NJ 07110
4602	18	VINTOM ASSOCIATES	437 FRANKLIN AVENUE, NUTLEY, NJ 07110
4602	19	SPENCER SAVINGS BANK, SLA	611 RIVER DRIVE #3, ELMWOOD PARK, NJ 07407
4602	21	HIFI REAL ESTATE, LLC	361 FRANKLIN AVENUE, 2ND FL, NUTLEY, NJ 07110
4602	22	HIFI REAL ESTATE, LLC	361 FRANKLIN AVENUE, 2ND FL, NUTLEY, NJ 07110
4602	23	349 FRANKLIN REALTY, LLC	8 HARDING AVENUE, NORTH CALDWELL, NJ 07006
4602	24	VALLEY NATIONAL BANK - PROF MGMT DEPT	1720 STATE ROUTE 23, WAYNE, NJ 07470
4602	25	CHESTNUT STREET MANOR	276 CHESTNUT STREET, NUTLEY, NJ 07110
4602	1-C-0022	BUCCI, NICHOLAS	6-12 HILLSIDE AVENUE, NUTLEY, NJ 07110
4602	1-C-0023	MCELLAN, LOIS JEAN	6-12 HILLSIDE AVENUE 3-B, NUTLEY, NJ 07110
4602	1-C-0024	RYDER, MICHAEL	91 ALEXANDER AVENUE, NUTLEY, NJ 07110
4602	1-C-0101	SAMAD, ZENA	81 DEVONSHIRE ROAD, CEDAR GROVE, NJ 07009
4602	1-C-0102	RICH, LILLIAN	6-12 HILLSIDE AVENUE 1-B, NUTLEY, NJ 07110
4602	1-C-0103	DEMICCO, VITO	6-12 HILLSIDE AVENUE, NUTLEY, NJ 07110
4602	1-C-0104	CATALDO, RONALD M. & PATRICIA C.	131 SPRING LAKE BOULEVARD, WARETOWN, NJ 08758
4602	1-C-0105	D'ALOIA, CARMINE P.	6-12 HILLSIDE AVENUE 1-E, NUTLEY, NJ 07110
4602	1-C-0106	LOCURCIO, ANTOINETTE	6-12 HILLSIDE AVENUE 1-F, NUTLEY, NJ 07110
4602	1-C-0107	GONZALEZ, JOSE	12 HILLSIDE AVENUE 1-G, NUTLEY, NJ 07110
4602	1-C-0108	SINISI, LYNORE M.	12 HILLSIDE AVENUE 1-H, NUTLEY, NJ 07110
4602	1-C-0109	URBANOVICH, STEPHEN	6-12 HILLSIDE AVENUE 1-I, NUTLEY, NJ 07110
4602	1-C-0110	MUZZICATO, ANNA	6-12 HILLSIDE AVENUE 1-K, NUTLEY, NJ 07110
4602	1-C-0201	FRAHM, ROBYN	6 HILLSIDE AVENUE 2-A, NUTLEY, NJ 07110
4602	1-C-0202	GOLUB, STEPHEN	6-12 HILLSIDE AVENUE 2-B, NUTLEY, NJ 07110
4602	1-C-0203	PEREIRA, JONATHAN	6-12 HILLSIDE AVENUE 2-C, NUTLEY, NJ 07110
4602	1-C-0204	DOLAN, JOHN	283 GRANT AVENUE, NUTLEY, NJ 07110
4602	1-C-0205	FUSARO, LOUIS S. JR.	6-12 HILLSIDE AVENUE 2-E, NUTLEY, NJ 07110
4602	1-C-0206	ZWEIL, NANCY E.	6-12 HILLSIDE AVENUE 2-F, NUTLEY, NJ 07110
4602	1-C-0207	PIPI, ANNE MARIE	12 HILLSIDE AVENUE 2-G, NUTLEY, NJ 07110
4602	1-C-0208	SAHITI, ADEM	6-12 HILLSIDE AVENUE 2-H, NUTLEY, NJ 07110
4602	1-C-0209	LAGRONE, KATHLEEN E. & DANIEL J.	6-12 HILLSIDE AVENUE 2-I, NUTLEY, NJ 07110
4602	1-C-0210	MOORE, DANIEL	1121 ESTELLE STREET, POINT PLEASANT, NJ 08743
4602	1-C-0301	WEBER, LISA	6-12 HILLSIDE AVENUE 3-A, NUTLEY, NJ 07110
4602	1-C-0302	RIGGI, NICHOLAS	6-12 HILLSIDE AVENUE 3-B, NUTLEY, NJ 07110
4602	1-C-0303	EAGLE, PAUL	6-12 HILLSIDE AVENUE 3-C, NUTLEY, NJ 07110



AERIAL MAP

SCALE: 1" = 100'±

BLOCK	LOT	OWNER	OWNER'S ADDRESS
4602	1-C-0304	EAGLE, PAUL	6-12 HILLSIDE AVENUE 3-D, NUTLEY, NJ 07110
4602	1-C-0305	HARING, LENORE	71 EDISON AVENUE, NUTLEY, NJ 07110
4602	1-C-0306	MILLS, NANCY & CARNEVALE, ANGELA	12 HILLSIDE AVENUE 3-F, NUTLEY, NJ 07110
4602	1-C-0307	AHR, KIMBERLEY	38 BROOKDALE AVENUE, CEDAR GROVE, NJ 07009
4602	1-C-0308	FORSYTH, BARBARA	6-12 HILLSIDE AVENUE 3-H, NUTLEY, NJ 07110
4602	1-C-0309	VASSILEV, LYUBOMIR	6-12 HILLSIDE AVENUE 3-J, NUTLEY, NJ 07110
4602	1-C-0310	CORBO, KATHY	6-12 HILLSIDE AVENUE 3-K, NUTLEY, NJ 07110
4602	25-C0021	MCAHON, LYNN M & ZOON, CYNTHIA A	48 CENTRE STREET, NUTLEY, NJ 07110
4602	25-C0100	CONSUL, MARK A.	276 CHESTNUT STREET 1-G, NUTLEY, NJ 07110
4602	25-C0201	GONNELL, CARMELA	15 PRATNE AVENUE, MIDLAND PARK, NJ 07432
4602	25-C0202	SILVESTRI, JAMES & ALICIA	276 CHESTNUT STREET 2-B, NUTLEY, NJ 07110
4602	25-C0203	GIANNICO, GIAMPIERO	276 CHESTNUT STREET 2-C, NUTLEY, NJ 07110
4602	25-C0301	RODRIGUEZ, JESSICA	8 SURREY LANE, MONTVALE, NJ 07645
4602	25-C0302	CAMPANELLA, MICHAEL	276 CHESTNUT STREET 3-B, NUTLEY, NJ 07110
4602	25-C0303	RUSIGNUOLO, NICOLE	276 CHESTNUT STREET 3-C, NUTLEY, NJ 07110
6100	1	BOARD OF EDUCATION TWP OF NUTLEY	375 BLOOMFIELD AVENUE, NUTLEY, NJ 07110
6001	5	1169 CO. C/O AFFILIATED MANAGEMENT	301 S LIVINGSTON AVENUE STE, LIVINGSTON, NJ 07039
6001	6	BENEVENGA SIBLINGS LTD. PARTNERSHIP	639 PAGE AVENUE, LYNDBURST, NJ 07071
6001	7	GLENREAL EQUITIES LLC	210 RIVER STREET, HACKENSACK, NJ 07601
6001	8	NUTLEY NORSE, LLC	210 RIVER STREET, HACKENSACK, NJ 07601
6001	9	NUTLEY BOARD OF EDUCATION	375 BLOOMFIELD AVENUE, NUTLEY, NJ 07110

PLANS PREPARED BY:



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www.stonefielddeng.com

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PRELIMINARY & FINAL SITE PLAN
FOR
371 NORTH FRANKLIN AVENUE
PROPOSED PARKING LOT AND
ASSOCIATED SITE IMPROVEMENTS

BLOCK 4602, LOTS 20 & 24
371 NORTH FRANKLIN AVENUE
TOWNSHIP OF NUTLEY, ESSEX COUNTY, NEW JERSEY



Know what's below
Call before you dig.

OWNER

VALLEY NATIONAL BANK
1455 VALLEY ROAD
WAYNE, NEW JERSEY 07470

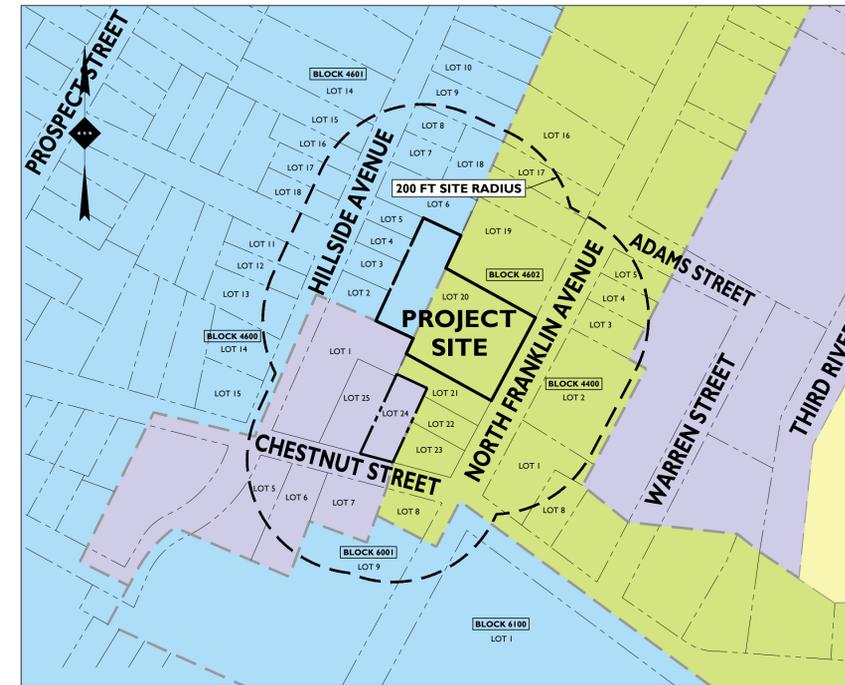
APPLICANT

FRANKLIN AVE REALTY GROUP, LLC
222 ROUTE 59, SUITE 300
SUFFERN, NEW YORK 10901

ZONING LEGEND

APPROVAL BLOCK	
APPROVED BY THE NUTLEY TOWNSHIP ZONING BOARD, ESSEX COUNTY, NEW JERSEY	
CHAIRPERSON	DATE
SECRETARY	DATE

[Green Box]	B-3
[Yellow Box]	P
[Blue Box]	R-1
[Purple Box]	R-3



TAX / ZONING MAP

SCALE: 1" = 100'±

SHEET INDEX

DRAWING TITLE	SHEET #
COVER SHEET	C-1
EXISTING CONDITIONS PLAN	C-2
DEMOLITION PLAN	C-3
SITE PLAN	C-4
TENANT SIGNAGE PLAN	C-5
GRADING PLAN	C-6
DRAINAGE & UTILITY PLAN	C-7
LIGHTING PLAN	C-8
SECURITY LIGHTING PLAN	C-9
LANDSCAPING PLAN	C-10 TO C-11
SOIL EROSION & SEDIMENT CONTROL PLAN	C-12
CONSTRUCTION DETAILS	C-13 TO C-16

PLAN REFERENCE MATERIALS:

- THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
 - ALTA / NSPS LAND TITLE SURVEY PREPARED BY STONEFIELD ENGINEERING & DESIGN DATED 04/18/2019
 - AERIAL MAP OBTAINED FROM GOOGLE EARTH PRO
 - ZONING MAP OBTAINED FROM TOWNSHIP OF NUTLEY ZONING MAP
 - TAX MAP OBTAINED FROM TOWNSHIP OF NUTLEY TAX MAPS
 - KEY MAP OBTAINED FROM USGS MAPS ONLINE
- ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

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www.stonefielddeng.com
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Phone 201.340.4468 · Fax 201.340.4472

PRELIMINARY & FINAL SITE PLAN
PROPOSED PARKING LOT AND
ASSOCIATED SITE IMPROVEMENTS

BLOCK 4602, LOTS 20 & 24
371 NORTH FRANKLIN AVENUE
TOWNSHIP OF NUTLEY,
ESSEX COUNTY, NEW JERSEY

CHARLES D. OLIVO, P.E.
NEW JERSEY LICENSE NO. 46719
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

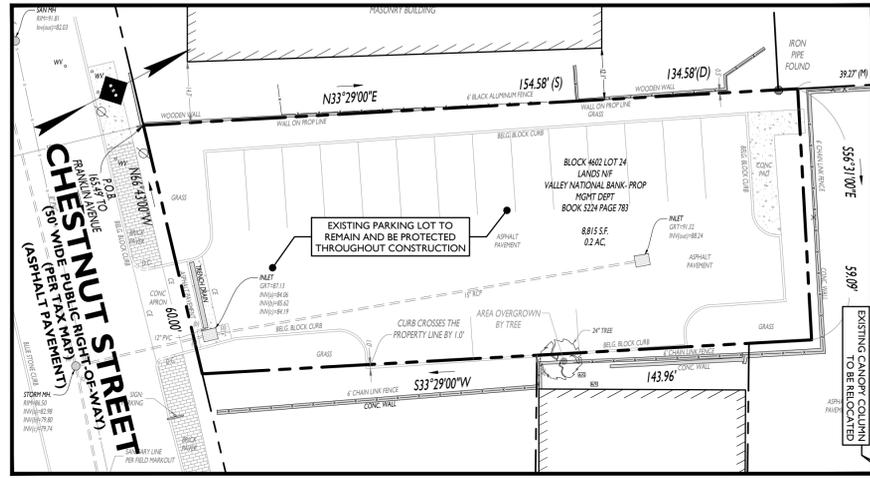
SCALE: AS SHOWN PROJECT ID: T-18177

TITLE:

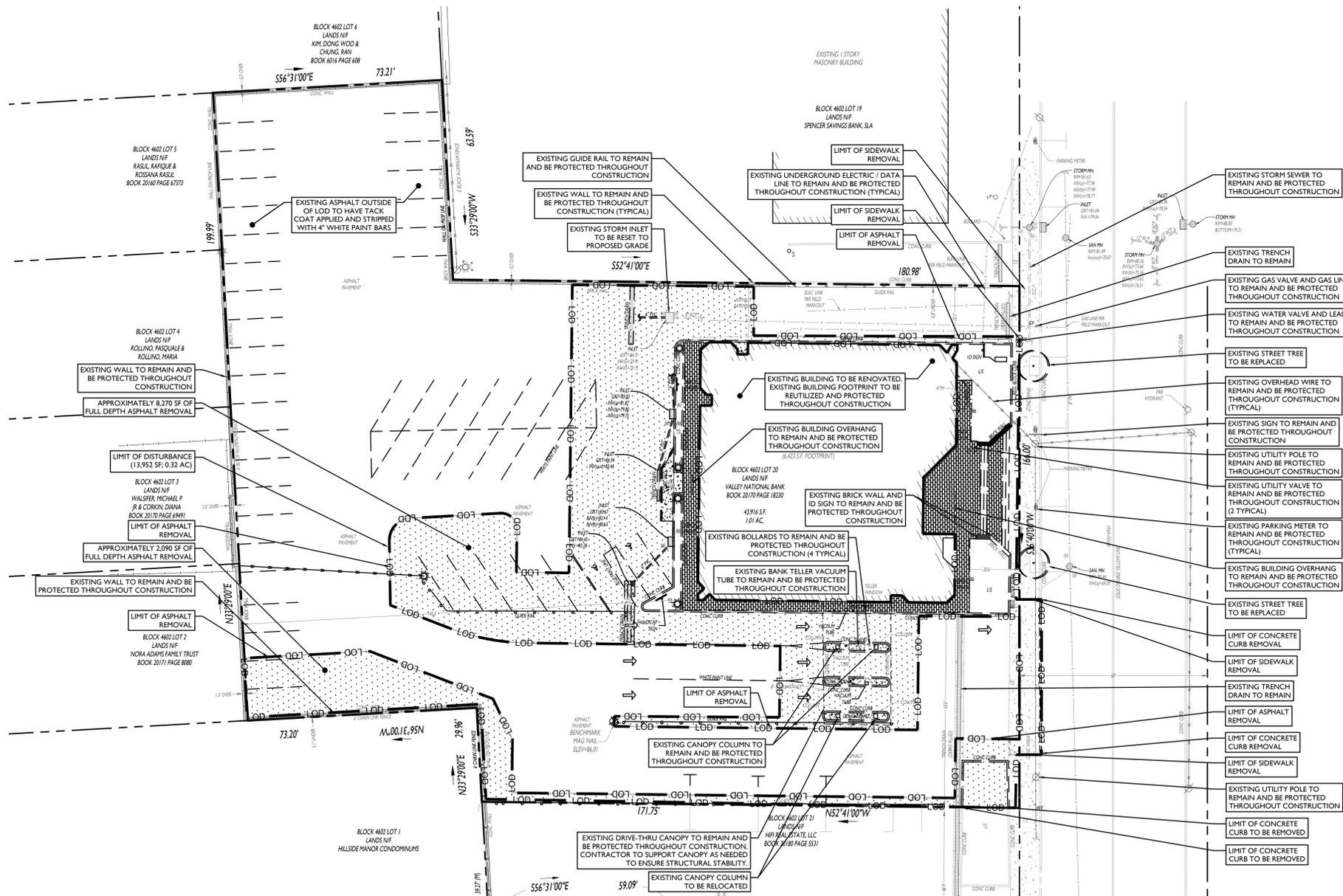
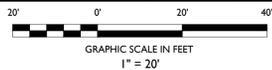
COVER SHEET

DRAWING:

C-1



OFF-SITE PARKING LOT INSET



NORTH FRANKLIN AVENUE
(60' WIDE PUBLIC RIGHT-OF-WAY)
(ASPHALT PAVEMENT)

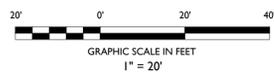
SYMBOL	DESCRIPTION
---	FEATURE TO BE REMOVED / DEMOLISHED
---	LIMIT OF DISTURBANCE
▨	FULL DEPTH ASPHALT REMOVAL

ALL SITE FEATURES WITHIN THE LIMIT OF DISTURBANCE INDICATED ON THIS PLAN ARE TO BE REMOVED / DEMOLISHED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF SIGNIFICANT DISCREPANCIES ARE DISCERNED BETWEEN THIS PLAN AND FIELD CONDITIONS



Know what's below
Call before you dig.

- DEMOLITION NOTES**
1. THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE ENTIRE PLAN SET AND ASSOCIATED REPORTS/REFERENCE DOCUMENTS INCLUDING ALL DEMOLITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE SITE IMPROVEMENTS.
 2. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
 3. EXPLOSIVES SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM BOTH THE OWNER AND ANY APPLICABLE GOVERNING AGENCY IS OBTAINED. BEFORE THE START OF ANY EXPLOSIVE PROGRAM, THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE, AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SEISMIC TESTING AS REQUIRED AND ANY DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES.
 4. ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AUTHORITY'S REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EXCAVATIONS ASSOCIATED WITH DEMOLISHED STRUCTURES OR REMOVED TANKS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.
 5. DEMOLISHED DEBRIS SHALL NOT BE BURIED ON SITE. ALL WASTE/DEBRIS GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DISPOSAL TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REGULATIONS.



NO.	DATE	ISSUE	BY	DESCRIPTION
02	05/13/2020	01	MFZ	FOR MUNICIPAL SUBMISSION
05	05/13/2020	02	MFZ	FOR MUNICIPAL RESUBMISSION

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PRELIMINARY & FINAL SITE PLAN
PROPOSED PARKING LOT AND
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BLOCK 4602, LOTS 20 & 24
371 NORTH FRANKLIN AVENUE
TOWNSHIP OF NUTLEY
ESSEX COUNTY, NEW JERSEY

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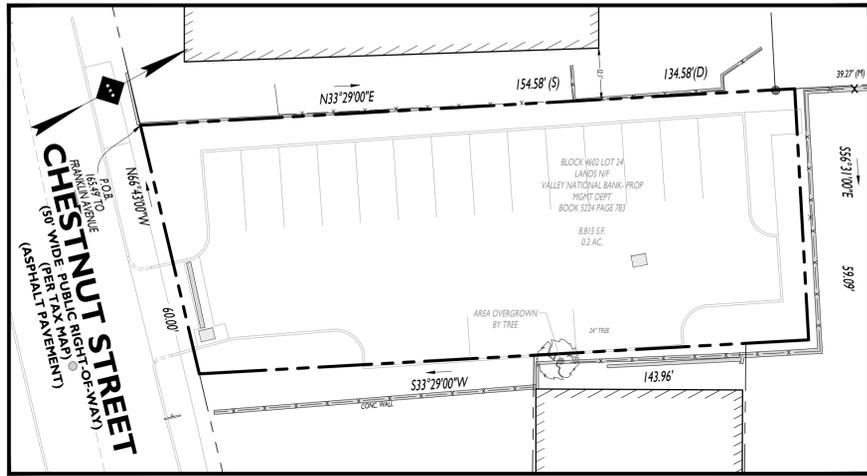
SCALE: 1" = 20' PROJECT ID: T-18177

DEMOLITION PLAN

DRAWING:

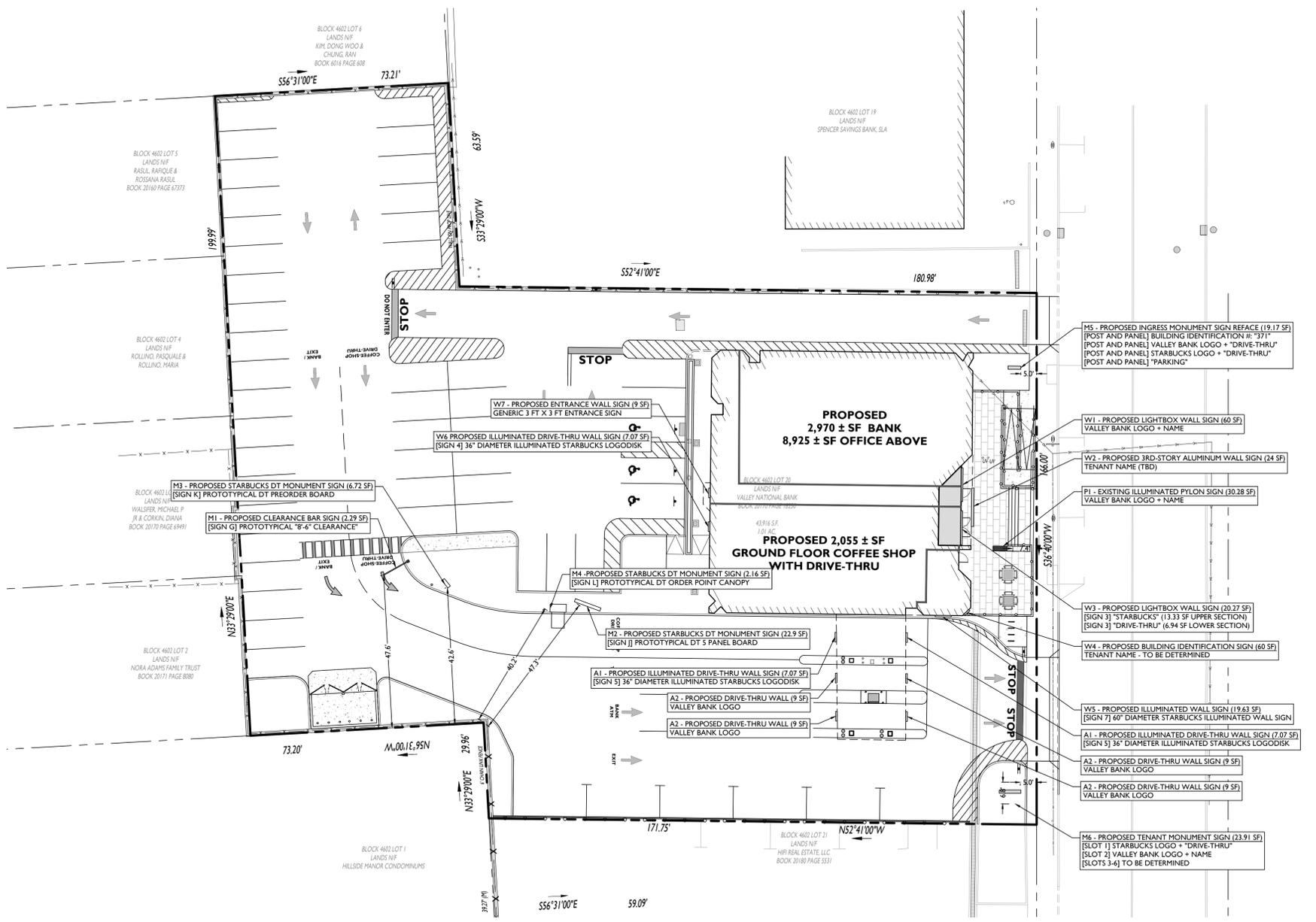
C-3

T:\2018\18177\NEW JERSEY\18177 - NORTH FRANKLIN AVENUE, NUTLEY, NJ\CDP\18177.DWG



SIGNAGE REQUIREMENTS						
CODE SECTION	REQUIRED	PROPOSED				
§ 700-83.B(2)	TOTAL SIGN AREA (GROUND + WALL): 123.15 SF*	429.90 SF (V)				
GROUND SIGNS (MONUMENT):		SIGN 'M1'	SIGN 'M2'	SIGN 'M3'	SIGN 'M4'	SIGN 'M5'
§ 700-84.A(2)	TOTAL MONUMENT SIGNS	7 MONUMENT SIGNS (V)				
	MINIMUM SETBACK: 5 FT	47.6 FT	43.7 FT	42.6 FT	47.3 FT	5.0 FT
	MAXIMUM HEIGHT: 5 FT	8.92 FT (V)	5.44 FT (V)	5.44 FT (V)	5.04 FT (V)	6.00 FT (V)
	MAXIMUM AREA (PER SIDE): 25 SF	2.29 SF	22.90 SF	6.72 SF	2.16 SF	23.91 SF
	NUMBER OF FACES	1	1	1	2	2
GROUND SIGNS (PYLON):		SIGN (SIGN 'P1') (EN)				
§ 700-79.R	PYLON SIGNS ARE PROHIBITED WITH A HEIGHT GREATER THAN FIVE FT AND SUPPORTED FROM THE GROUND.	2 FACES				
WALL SIGN (FLAT):		SIGN 'W1'	SIGN 'W2'	SIGN 'W3'	SIGN 'W4'	SIGN 'W5'
§ 700-83.A(1)	MAXIMUM HEIGHT: LOWER THAN ROOFLINE	COMPLIES	COMPLIES	COMPLIES	COMPLIES	COMPLIES
	MAXIMUM AREA (PER SIDE): N/A	60.00 SF	24.00 SF	20.27 SF	60.00 SF	19.63 SF
	LESS THAN 9 INCH PROJECTION FROM WALL	COMPLIES	COMPLIES	COMPLIES	COMPLIES	COMPLIES
WALL SIGN (AWNING):		SIGN 'A1'	SIGN 'A2'	TOTAL	PERCENT	
§ 700-90.2.B(1)(D)	AWNING SIGNS SHALL NOT REPRESENT MORE THAN 35% OF TOTAL PERMITTED SURFACE DISPLAY AREA	2 SIGNS 7.07 SF EA.	4 SIGNS 9.00 SF EA.	6 SIGNS 50.14 SF	40.7% (V)	
§ 700-90.2.B(1)(E)	NO LETTERING AND LOGO PERMITTED ON AWNINGS	LOGO (V)	LOGO (V)	--	--	
§ 700-90.2.B(1)(I)	MAXIMUM HEIGHT: 12 FT	13.83 FT (V)	13.83 FT (V)	--	--	
	MINIMUM HEIGHT: 7.5 FT	COMPLIES	COMPLIES	--	--	

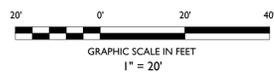
* TOTAL SIGN AREA CALCULATED BY BUILDING WIDTH (EXCLUDING AWNING) MULTIPLIED BY 1.5
 82.1 FT * 1.5 = 123.15 SF
 (V) VARIANCE REQUIRED
 (EN) EXISTING NON-CONFORMING; VARIANCE REQUIRED



NORTH FRANKLIN AVENUE
 (60' WIDE PUBLIC RIGHT-OF-WAY)
 (PER TAX MAP)
 (ASPHALT PAVEMENT)

SYMBOL	DESCRIPTION
---	PROPERTY LINE
- - - -	SETBACK LINE
=====	PROPOSED CURB
=====	PROPOSED DEPRESSED CURB
=====	PROPOSED FLUSH CURB
○ ○ ○	PROPOSED SIGNS / BOLLARDS
▭	PROPOSED BUILDING
▭	PROPOSED CONCRETE
○ ○	PROPOSED HANDRAIL
⌋	PROPOSED BUILDING DOORS
⊞	PROPOSED TABLE
○	PROPOSED BIKE RACK
▭	PROPOSED FULL DEPTH ASPHALT

- GENERAL NOTES:**
- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
 - THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
 - ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC, AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
 - THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
 - THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
 - THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
 - THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
 - CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC, WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
 - THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
 - THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMNT OF STREET OPENING PERMITS.
 - THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION AND DEMOLITION ACTIVITIES.
 - SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC, BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.



NO.	DATE	BY	DESCRIPTION
02	05/13/2020	MFZ	FOR MUNICIPAL RESUBMISSION
01	02/03/2020	MFZ	FOR MUNICIPAL SUBMISSION

NOT APPROVED FOR CONSTRUCTION

STONEFIELD
 engineering & design

Rutherford, NJ - New York, NY
 Princeton, NJ - Tampa, FL - Detroit, MI
 www.stonefielddesign.com

Headquarters: 92 Park Avenue, Rutherford, NJ 07070
 Phone 201.340.4468 · Fax 201.340.4472

PRELIMINARY & FINAL SITE PLAN

PROPOSED PARKING LOT AND ASSOCIATED SITE IMPROVEMENTS

BLOCK 4602, LOTS 20 & 24
 371 NORTH FRANKLIN AVENUE
 TOWNSHIP OF NUTLEY
 ESSEX COUNTY, NEW JERSEY

CHARLES D. OLIVO, P.E.
 NEW JERSEY LICENSE No. 46719
 LICENSED PROFESSIONAL ENGINEER

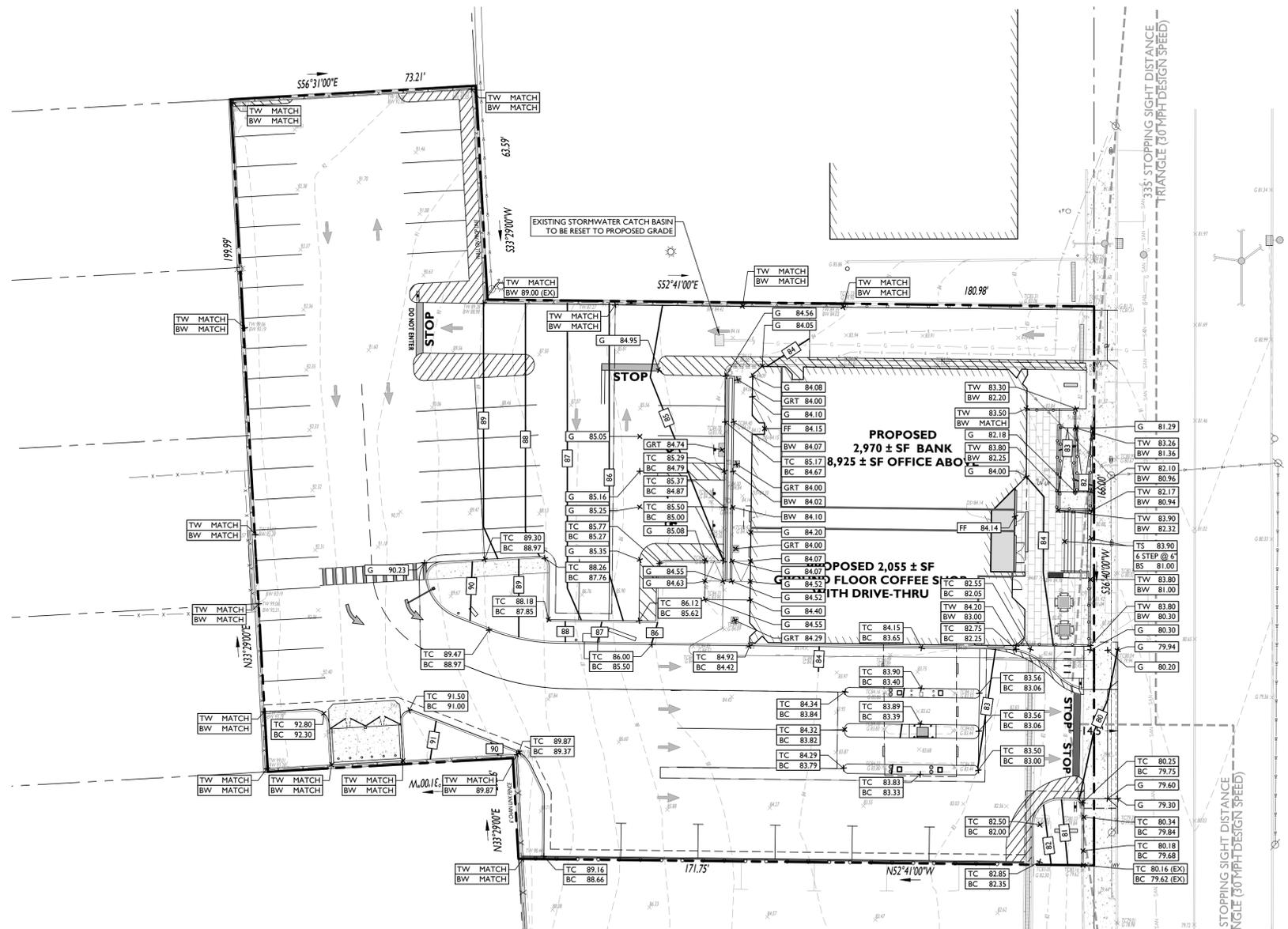
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SCALE: 1" = 20' PROJECT ID: T-18177

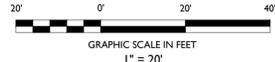
TITLE:
TENANT SIGNAGE PLAN

DRAWING:
C-5

T:\2018\1137\NEW YORK\QUOTES\371 FRANKLIN AVENUE\NORTH\1137 FRANKLIN AVENUE\PROPOSED GRADING.DWG



NORTH FRANKLIN AVENUE
 (60' WIDE PUBLIC RIGHT-OF-WAY)
 (ASPHALT PAVEMENT)



SYMBOL	DESCRIPTION
---	PROPERTY LINE
100	PROPOSED GRADING CONTOUR
---	PROPOSED GRADING RIDGELINE
X G 100.00	PROPOSED GRADE SPOT SHOT
X TC 100.50 BC 100.00	PROPOSED TOP OF CURB / BOTTOM OF CURB SPOT SHOT
X TW 102.00 BW 100.00	PROPOSED TOP OF WALL / BOTTOM OF WALL SPOT SHOT

- GRADING NOTES**
- ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DE-WATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
 - THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
 - PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC. FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
 - THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
 - MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
 - CURB GUTTER: 0.50%
 - CONCRETE SURFACES: 1.00%
 - ASPHALT SURFACES: 1.00%
 - A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IF THE CONDITION CANNOT BE MET.
 - FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

- ADA NOTES**
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
 - THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP. AT ACCESSIBLE BUILDING ENTRANCES, AT AN AREA IN FRONT OF A WALK-UP ATM, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL, THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00%. IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP, FOR ALTERATIONS, A CURB RAMP FLARE SHALL NOT HAVE A SLOPE GREATER THAN 8.33% IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP. CURB RAMPS SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
 - ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
 - A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS.
 - THE CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4 INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH. WHERE A CHANGE IN LEVEL BETWEEN 1/4 INCHES AND 1/2 INCHES EXISTS, CONTRACTOR SHALL ENSURE THAT THE TOP 1/4 INCH CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN 1 UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
 - THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATION) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/4 INCH.

NO.	DATE	ISSUE	BY	DESCRIPTION
02	05/13/2020	01	MS	FOR MUNICIPAL RESUBMISSION
	02/03/2020		MPZ	FOR MUNICIPAL SUBMISSION

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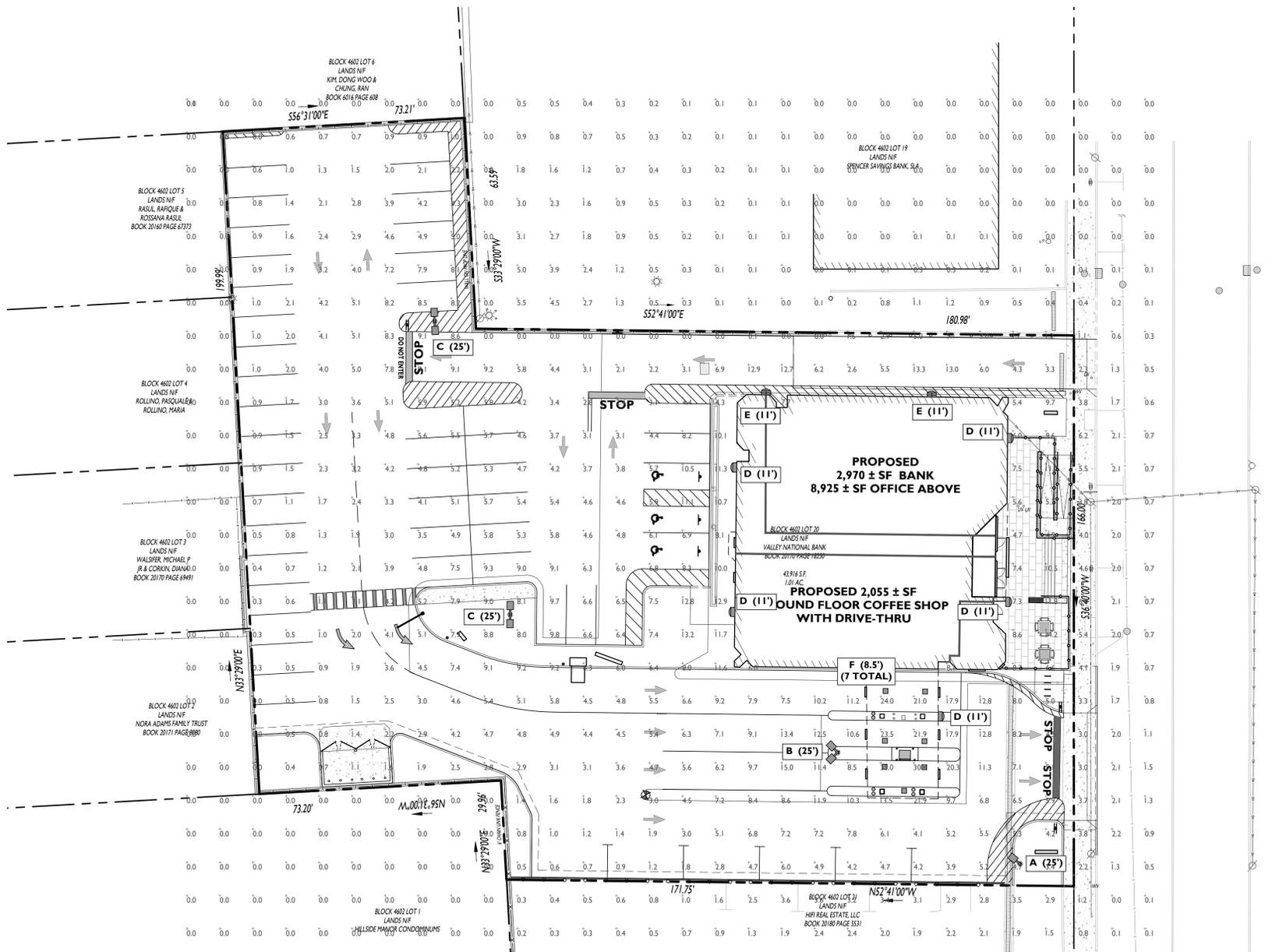
TITLE:
GRADING PLAN

DRAWING:
C-6

PROPOSED LUMINAIRE SCHEDULE								
SYMBOL	LABEL	QUANTITY	SECURITY LIGHTING	DISTRIBUTION	LUMENS	LLF	MANUFACTURER	IES FILE
	A	1	GE EVOLVE LED AREA LIGHT - 5,000K - 239 WATTS	IV	30K	0.90	GE LIGHTING	EAL503_K44750__ELS-EAL-FBL-BLCK.IES
	B	1	GE EVOLVE DOUBLE 90° LED AREA LIGHT - 5,000K - 186 WATTS	IV	25K	0.90	GE LIGHTING	EAL503_K44750__WITH-ELS-EAL-F4-BLCK.IES
	C	2	GE EVOLVE DOUBLE 180° LED AREA LIGHT - 5,000K - 239 WATTS	IV	30K	0.90	GE LIGHTING	EAL503_K44750__ELS-EAL-FBL-BLCK.IES
	D	5	GE EVOLVE LED WALL LIGHT - 5,000K - 125 WATTS	IV	13.7K	0.90	GE LIGHTING	EWNB-F4750__IES
	E	2	GE EVOLVE LED WALL LIGHT - 5,000K - 89 WATTS	III	10.5K	0.90	GE LIGHTING	EWNB-D3750__IES
	F	7	GE EVOLVE RECESSED LED CANOPY LIGHT - 5,000K - 35 WATTS	V	4,230	0.90	GE LIGHTING	ECRA_ASF550__120-277V.IES

LIGHTING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 700-46.B(3)	MAXIMUM HEIGHT LIMITATION WITHIN THE B-3 DISTRICT OF 40 FT ARE APPLICABLE TO LIGHT FIXTURES	25 FT

SYMBOL	DESCRIPTION
A (XX')	PROPOSED LIGHTING FIXTURE (MOUNTING HEIGHT)
XX	PROPOSED LIGHTING INTENSITY (FOOT-CANDLES)
	PROPOSED AREA LIGHT
	PROPOSED BUILDING MOUNTED LIGHT
	PROPOSED CANOPY LIGHT



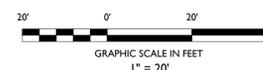
NORTH FRANKLIN AVENUE
(60' WIDE PUBLIC RIGHT-OF-WAY)
(PER TAX MAP)
(ASPHALT PAVEMENT)

GENERAL LIGHTING NOTES

- THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER. ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH AS WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
- WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURE MODEL.
- UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
 - LIGHT EMITTING DIODES (LED): 0.90
 - HIGH PRESSURE SODIUM: 0.72
 - METAL HALIDE: 0.72
- THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING PROPOSED DRAINAGE, UTILITY, OR OTHER IMPROVEMENTS.
- THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.

ATM LIGHTING NOTES:

- THE CONTRACTOR SHALL CONFIRM THAT THE LOCATION OF ANY PROPOSED BUILDING MOUNTED LIGHTING FIXTURE WILL NOT CONFLICT WITH ANY EXISTING OR PROPOSED STRUCTURAL ELEMENT (E.G. CANOPY SUPPORT BEAMS). THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC, IN WRITING OF ANY FIXTURE CONFLICT PRIOR TO THE START OF CONSTRUCTION.
- ALL EXISTING TREE LIMBS WITHIN THE 60 FOOT ATM RADIUS SHOWN IN THE PLAN SET SHALL BE TRIMMED TO A MINIMUM OF 6 FEET ABOVE GRADE. ALL SHRUBS WITHIN THE 60 FOOT ATM RADIUS SHALL BE TRIMMED TO A MINIMUM OF 36 INCHES ABOVE GRADE. ALL BRUSH SHALL BE REMOVED. THE CONTRACTOR SHALL CONSIDER ALL FUTURE GROWTH AND FULL BLOOM WHEN TRIMMING LANDSCAPING. EXISTING TREE LIMBS ADJACENT TO LIGHTING FIXTURES SHALL BE TRIMMED AS REQUIRED TO PREVENT LIGHT INTERFERENCE.
- THE ILLUMINATION LEVELS DEPICTED WITHIN THE PLAN SET ARE BASED ON REGULATORY STATE STANDARDS FOR SAFETY LIGHTING AND ON CLIENT STANDARDS.
- ALL LIGHTING FIXTURES, UNLESS OTHERWISE NOTED WITHIN THIS PLAN SET, HAVE THE PHOTOCELL OPTION ENABLED.
- EXISTING LIGHTING FIXTURES CONTROLLED BY OUTSIDE ENTITIES (E.G. LANDLORD) HAVE BEEN EXCLUDED FROM THE LIGHTING ANALYSIS REFLECTED WITHIN THE PLAN SET. THE PROPOSED LIGHT LEVELS HAVE BEEN DESIGNED TO COMPLY WITH ALL APPLICABLE ATM AND SAFETY LIGHTING REQUIREMENTS INDEPENDENT OF ANY UNCONTROLLED LIGHT FIXTURES.



LIGHTING AT GRADE

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LIGHTING PLAN

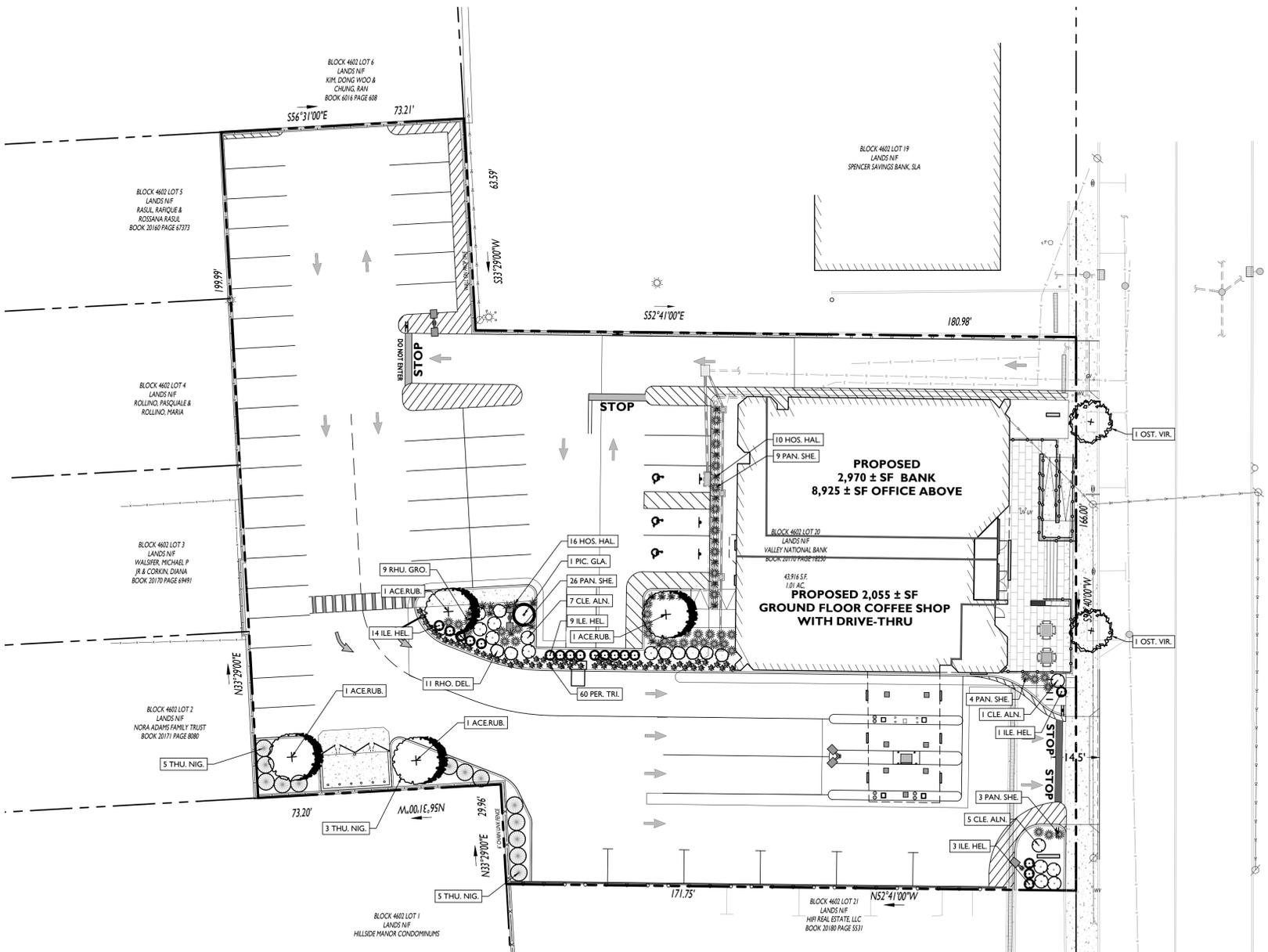
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PLANT SCHEDULE					
PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
DECIDUOUS TREES (TOTAL: 6)					
ACERUB.	4	ACER RUBRUM	RED MAPLE	2-3" CAL	B&B
OST. VIR.	2	OSTRYA VIRGIANA	AMERICAN HOPHORNBEAM	2-3" CAL	B&B
EVERGREEN TREES (TOTAL: 14)					
PIC. GLA.	1	PICEA PUNGENS 'GLAUCA'	COLORADO BLUE SPRUCE	4'-5'	B&B
THU. NIG.	13	THUJA OCCIDENTALIS 'NIGRA'	DARK GREEN ARBORVITAE	6' MIN.	B&B
EVERGREEN SHRUBS (TOTAL: 24)					
ILE. HEL.	20	ILEX CRENATA 'HELLER'	HELLER HOLLY	24"-30"	B&B
RHO. DEL.	4	RHODODENDRON 'DELAWARE VALLEY WHITE'	DELAWARE VALLEY WHITE RHODODENDRON	18"-24"	B&B
DECIDUOUS SHRUBS (TOTAL: 15)					
CLE. ALN.	15	CLETHRA ALINIFOLIA	SUMMERSWEET CLETHRA	24"-36"	B&B
PERENNIALS / GRASSES / GROUND COVERS (TOTAL: 142)					
HOS. HAL.	30	HOSTA 'HALCYON'	HALCYON HOSTA	1 GAL.	CONT. 3' O.C.
PAN. SHE.	43	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCHGRASS	1 GAL.	CONT. 3' O.C.
PER. TRI.	60	PEROVSKIA ATRIPLICIFOLIA 'LITTLE SPIRE'	LITTLE SPIRE RUSSIAN SAGE	1 GAL.	CONT. 2' O.C.
RHU. GRO.	9	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	1 GAL.	CONT. 3' O.C.

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE.

LANDSCAPING AND BUFFER REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 600-6(1)(g)	PARKING AREAS GREATER THAN 20,000 SF SHALL HAVE AT LEAST 5% AREA DEVOTED TO LANDSCAPING (30,209 SF)(0.05) = 1,510 SF MINIMUM 5 FT WIDE	7.7% (2,326 SF) 5 FT WIDE
§ 600-6(1)(g)	BUFFERING BETWEEN PARKING AREA AND RESIDENTIAL PROPERTIES SHALL CONSIST OF EVERGREENS, SHRUBS, BUSHES, OR DECIDUOUS TREES, OR COMBINATION THEREOF	WALL EXISTING
§ 600-6(16)	ONE OF MORE STREET SHADE TREES SHALL BE PLANTED NO FARTHER THAN 50' APART FOR SITES WITH FRONTAGES OF 50 OR MORE FEET	TWO EXISTING STREET SHADE TREES TO BE REPLACED



NORTH FRANKLIN AVENUE
(60' WIDE PUBLIC RIGHT-OF-WAY)
(PER TAX MAP)
(ASPHALT PAVEMENT)

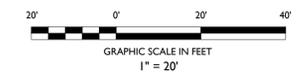
BEFORE YOU BREAK GROUND FOR A PROJECT AROUND YOUR YARD, SUCH AS A FENCE, IN-GROUND POOL, OR HOME ADDITION, YOU MUST CALL NEW JERSEY ONE CALL AT 800-272-1000 TO REQUEST A MARK OUT OF THE UTILITY SERVICES THAT ARE UNDERGROUND. IT IS RECOMMENDED THAT YOU CALL 3 DAYS BEFORE YOU DIG. THE STATE OF NEW JERSEY REQUIRES THAT YOU CALL "REPORT YOU DIG" SO THAT YOU CAN IDENTIFY WHERE THE UNDERGROUND UTILITIES ARE LOCATED (SUCH AS WATER, GAS, ELECTRIC, PHONE, CABLE, ETC.) ONCE "MARKED OUT," YOU CAN DIG WITHOUT THE RISK OF INTERRUPTING SERVICES FROM DAMAGING PROPERTY OR PERSONS. IF YOU ARE HAVING A WORK FOR YOU, THEY ARE CONTACT ONE CALL. UTILITY OUT WITH PAINT OR A FLAG. THE "HELP YOU IDENTIFY" WHAT UTILITY HAS PERFORMED A MARK OUT:

ONE CALL

NEW JERSEY

UTILITY: ELECTRIC-RED, GAS-ORANGE, WATER-BLUE, SEWER-GREEN, TELEPHONE-RED, CABLE-TV-YELLOW, COMMUNICATION TV-ORANGE, WATER-RED, SEWER-GREEN, TELEPHONE-RED, CABLE-TV-YELLOW, EXCAVATION-WHITE

- LANDSCAPING NOTES**
- THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 - THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS WITH A MINIMUM 4 INCH LAYER OF TOPSOIL AND SEED.
 - THE CONTRACTOR SHALL RESTORE MULCH AREAS WITH A MINIMUM 3 INCH LAYER OF MULCH.
 - THE MAXIMUM SLOPE ALLOWABLE IN LANDSCAPE RESTORATION AREAS SHALL BE 3 FEET HORIZONTAL TO 1 FOOT VERTICAL (3:1 SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 - THE CONTRACTOR IS REQUIRED TO LOCATE ALL SPRINKLER HEADS IN AREA OF LANDSCAPING DISTURBANCE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S DIRECTION WITHIN AREAS OF DISTURBANCE.
 - THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPED AREAS ARE GRADED TO MEET FLUSH AT THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS EXCEPT UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABRUPT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPING AREAS.



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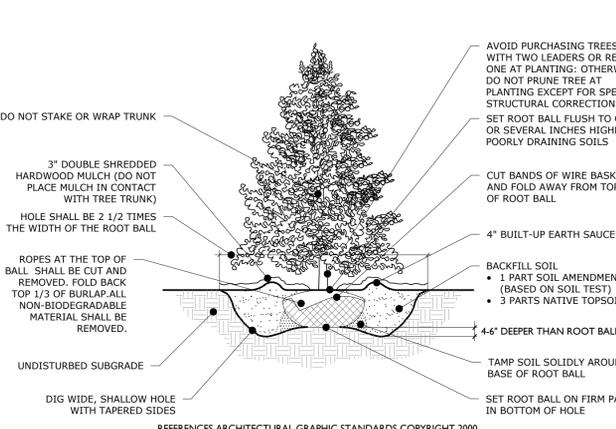
TITLE:
LANDSCAPING PLAN

DRAWING:
C-10

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NOTES:

- FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL; THEN CUT OR PULL APART ANY ROOTS CIRCILING THE PERIMETER OF THE CONTAINER.
- THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
- SOIL AMENDMENTS:
 - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM.
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.

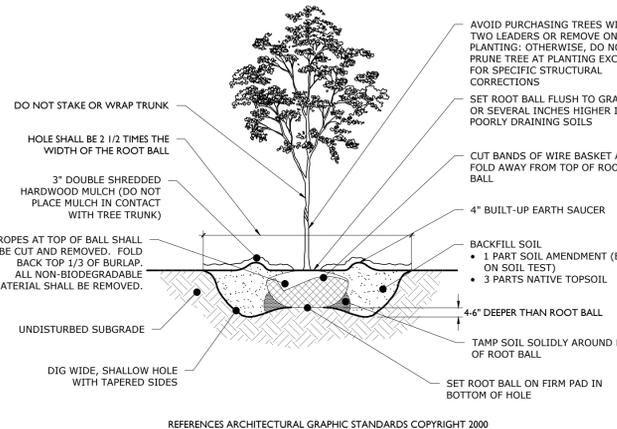


EVERGREEN TREE PLANTING DETAIL

NOT TO SCALE

NOTES:

- FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL; THEN CUT OR PULL APART ANY ROOTS CIRCILING THE PERIMETER OF THE CONTAINER.
- THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
- SOIL AMENDMENTS:
 - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM.
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.

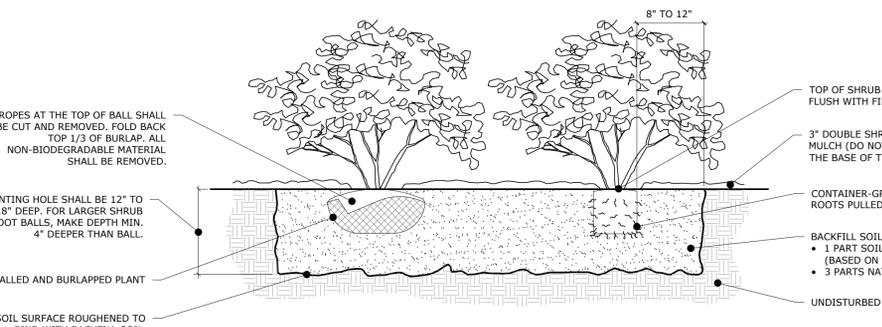


DECIDUOUS TREE PLANTING DETAIL

NOT TO SCALE

NOTES:

- FOR THE CONTAINER-GROWN SHRUBS, USE FINGERS OR SMALL HAND TOOL TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL; THEN CUT OR PULL APART ANY ROOTS CIRCILING THE PERIMETER OF THE CONTAINER.
- THOROUGHLY SOAK THE SHRUB ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
 - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM.
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL.

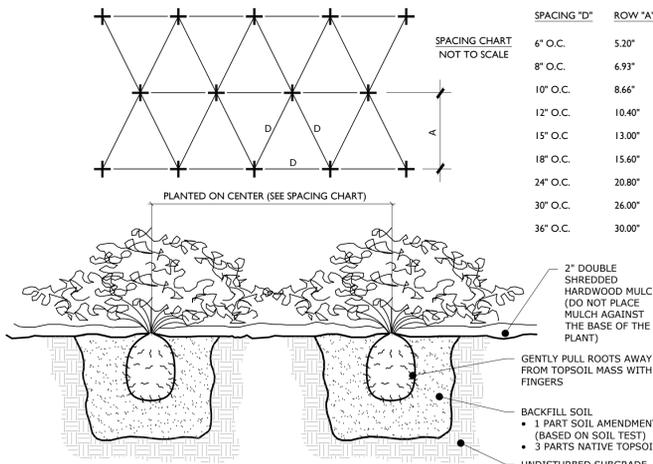


DECIDUOUS AND EVERGREEN SHRUB PLANTING DETAIL

NOT TO SCALE

NOTES:

- THOROUGHLY SOAK THE GROUND COVER ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
- SOIL AMENDMENTS:
 - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM.
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.
- ALL GROUND COVER AREAS SHALL BE TREATED WITH A PRE-EMERGENT PER MANUFACTURER'S SPECIFICATIONS.



GROUND COVER/PERENNIAL/ANNUAL PLANTING DETAIL

NOT TO SCALE

GENERAL LANDSCAPING NOTES:

- THE LANDSCAPE CONTRACTOR SHALL FURNISH ALL MATERIALS AND PERFORM ALL WORK IN ACCORDANCE WITH THESE SPECIFICATIONS, APPROVED OR FINAL DRAWINGS, AND INSTRUCTIONS PROVIDED BY THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIALS, OR OWNER/OWNER'S REPRESENTATIVE. ALL WORK COMPLETED AND MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH THE SPECIFICATIONS, DRAWINGS, AND INSTRUCTIONS AND EXECUTED WITH THE STANDARD LEVEL OF CARE FOR THE LANDSCAPE INDUSTRY.
- WORK MUST BE CARRIED OUT ONLY DURING WEATHER CONDITIONS FAVORABLE TO LANDSCAPE CONSTRUCTION AND TO THE HEALTH AND WELFARE OF PLANTS. THE SUITABILITY OF SUCH WEATHER CONDITIONS SHALL BE DETERMINED BY THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL.
- IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR, BEFORE ORDERING OR PURCHASING MATERIALS, TO PROVIDE SAMPLES OF THOSE MATERIALS TO THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL FOR APPROVAL, IF SO REQUESTED.
- IF SAMPLES ARE REQUESTED, THE LANDSCAPE CONTRACTOR IS TO SUBMIT CERTIFICATION TAGS FROM TREES, SHRUBS, AND SEED VERIFYING TYPE AND PURITY.
- UNLESS OTHERWISE AUTHORIZED BY THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL, THE LANDSCAPE CONTRACTOR SHALL PROVIDE NOTICE AT LEAST FORTY-EIGHT HOURS (48 HRS.) IN ADVANCE OF THE ANTICIPATED DELIVERY DATE OF ANY PLANT MATERIALS TO THE PROJECT SITE. A LEGIBLE COPY OF THE INVOICE, SHOWING VARIETIES AND SIZES OF MATERIALS INCLUDED FOR EACH SHIPMENT SHALL BE FURNISHED TO THE PROJECT LANDSCAPE DESIGNER, OR GOVERNING MUNICIPAL OFFICIAL.
- THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL RESERVES THE RIGHT TO INSPECT AND REJECT PLANTS AT ANY TIME AND AT ANY PLACE.

PROTECTION OF EXISTING VEGETATION NOTES:

- BEFORE COMMENCING WORK, ALL EXISTING VEGETATION WHICH COULD BE IMPACTED AS A RESULT OF THE PROPOSED CONSTRUCTION ACTIVITIES MUST BE PROTECTED FROM DAMAGE BY THE INSTALLATION OF TREE PROTECTION FENCING. FENCING SHALL BE LOCATED AT THE Drip-LINE OR LIMIT OF DISTURBANCE AS DEPICTED WITHIN THE APPROVED OR FINAL PLAN SET, ESTABLISHING THE TREE PROTECTION ZONE. FENCE INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE PROTECTION FILL" NO WORK MAY BEGIN UNTIL THIS REQUIREMENT IS FULFILLED. THE FENCING SHALL BE INSPECTED REGULARLY BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED.
- IN ORDER TO AVOID DAMAGE TO ROOTS, BARK OR LOWER BRANCHES, NO VEHICLE, EQUIPMENT, DEBRIS, OR OTHER MATERIALS SHALL BE DRIVEN, PARKED OR PLACED WITHIN THE TREE PROTECTION ZONE. ALL ON-SITE CONTRACTORS SHALL USE ANY AND ALL PRECAUTIONARY MEASURES WHEN PERFORMING WORK AROUND TREES, WALKS, PAVEMENTS, UTILITIES, AND ANY OTHER FEATURES EITHER EXISTING OR PREVIOUSLY INSTALLED UNDER THIS CONTRACT.
- IN RARE INSTANCES WHERE EXCAVATING, FILL, OR GRADING IS REQUIRED WITHIN THE Drip-LINE OF TREES TO REMAIN, THE WORK SHALL BE PERFORMED AS FOLLOWS:
 - TRENCHING: WHEN TRENCHING OCCURS AROUND TREES TO REMAIN, THE TREE ROOTS SHALL NOT BE CUT, BUT THE TRENCH SHALL BE TUNNELED UNDER OR AROUND THE ROOTS BY CAREFUL HAND DIGGING AND WITHOUT INJURY TO THE ROOTS. NO ROOTS, LIMBS, OR WOODS ARE TO HAVE ANY PAINT OR MATERIAL APPLIED TO ANY SURFACE.
 - RAISING GRADES: WHEN THE GRADE AT AN EXISTING TIE IS BELOW THE NEW FINISHED GRADE, AND FILL NOT EXCEEDING 6 INCHES (6") IS REQUIRED, CLEAN, WASHED GRAVEL FROM ONE TO TWO INCHES (1" - 2") IN SIZE SHALL BE PLACED DIRECTLY AROUND THE TREE TRUNK. THE GRAVEL SHALL EXTEND OUT FROM THE TRUNK ON ALL SIDES A MINIMUM OF 18 INCHES (18") ABOVE FINISH GRADE. THE GRAVEL SHALL BE PLACED IN A MINIMUM OF 18 INCHES (18") ABOVE FINISH GRADE. GRAVEL BEFORE ANY EARTH FILL IS PLACED. NEW EARTH FILL SHALL NOT BE LEFT IN CONTACT WITH THE TRUNK OF ANY TREE REQUIRING FILL. WHERE FILL EXCEEDING 6 INCHES (6") IS REQUIRED, A DRY LAID TREE WELL SHALL BE CONSTRUCTED. IF APPLICABLE, TREE WELL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE WELL DETAIL."
 - LOWERING GRADES: EXISTING GRADES IN AREAS WHERE THE NEW FINISHED GRADE IS TO BE LOWERED, SHALL HAVE RE-GRADING WORK DONE BY HAND TO THE INDICATED ELEVATION, NO GREATER THAN SIX INCHES (6"). ROOTS SHALL BE CUT CLEANLY THREE INCHES (3") BELOW FINISHED GRADE UNDER THE DIRECTION OF A LICENSED ARBORIST. WHERE CUT EXCEEDING 6 INCHES (6") IS REQUIRED, A DRY LAID RETAINING WALL SHALL BE CONSTRUCTED. IF APPLICABLE, THE RETAINING WALL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE RETAINING WALL DETAIL."

SOIL PREPARATION AND MULCH NOTES:

- LANDSCAPE CONTRACTOR SHALL OBTAIN A SOIL TEST OF THE IN-SITU TOPSOIL BY A CERTIFIED SOIL LABORATORY PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL ALLOW FOR A TWO WEEK TURNAROUND TIME FROM SUBMITTAL OF SAMPLE TO NOTIFICATION OF RESULTS.
- BASED ON SOIL TEST RESULTS, ADJUST THE RATES OF LIME AND FERTILIZER THAT SHALL BE MIXED INTO THE TOP SIX INCHES (6") OF TOPSOIL. THE LIME AND FERTILIZER RATES PROVIDED WITHIN THE "SEED SPECIFICATION" OR "SOD SPECIFICATION" IS APPROXIMATE AND FOR BIDDING PURPOSES ONLY. IF ADDITIONAL AMENDMENTS ARE NECESSARY, ADJUST THE TOPSOIL AS FOLLOWS:
 - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM.
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.
- TOPSOIL SHALL BE FERTILE, FRIABLE, NATURAL TOPSOIL OF LOAMING CHARACTER, WITHOUT ADMIXTURE OF SUBSOIL MATERIAL OBTAINED FROM A WELL-DRAINED ARABLE SITE, FREE FROM ALL CLAY, LUMPS, COARSE SANDS, STONES, PLANTS, ROOTS, STICKS, AND OTHER FOREIGN MATERIAL GREATER THAN ONE INCH (1").
- TOPSOIL SHALL HAVE A PH RANGE OF 5.0-7.0 AND SHALL NOT CONTAIN LESS THAN 6% ORGANIC MATTER BY WEIGHT.
- OBTAIN TOPSOIL ONLY FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THAT FOUND AT THE PROJECT SITE.
- CONTRACTOR SHALL PROVIDE A SIX INCH (6") DEEP LAYER OF TOPSOIL IN ALL PLANTING AREAS. TOPSOIL SHALL BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN SOIL CONDITIONS.
- UNLESS OTHERWISE NOTED IN THE CONTRACT, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE GRADING WITHIN THE DISTURBED AREA OF THE SITE.
- LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE SUB-GRADE ELEVATION MEETS THE FINISHED GRADE ELEVATION (LESS THE REQUIRED TOPSOIL), IN ACCORDANCE WITH THE APPROVED OR FINAL GRADING PLAN.
- ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THE APPROVED OR FINAL CONSTRUCTION SET UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE DESIGNER OR MUNICIPAL OFFICIAL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER SURFACE AND SUBSURFACE PLANT BED DRAINAGE PRIOR TO THE INSTALLATION OF PLANTINGS. IF POOR DRAINAGE CONDITIONS EXIST, CORRECTIVE ACTION SHALL BE TAKEN PRIOR TO INSTALLATION. ALL PLANTING AND LAWN AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW A FREE FLOW OF SURFACE WATER.
- DOUBLE SHREDDED HARDWOOD MULCH OR APPROVED EQUAL SHALL BE USED AS A THREE INCH (3") TOP DRESSING IN ALL SHRUB PLANTING BEDS AND AROUND ALL TREES PLANTED BY LANDSCAPE CONTRACTOR, GROUND COVER, PERENNIAL, AND ANNUAL PLANTING BEDS SHALL BE MULCHED WITH A TWO INCH (2") TOP DRESSING. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO AVOID CONTACT WITH TRUNK OR PLANT STEM. MULCH SHALL BE OF SUFFICIENT CHARACTER AS NOT TO BE EASILY DISPLACED BY WIND OR WATER RUNOFF.
- WHENEVER POSSIBLE, THE SOIL PREPARATION AREA SHALL BE CONNECTED FROM PLANTING TO PLANTING.
- SOIL SHALL BE LOOSENED WITH A BACKHOE OR OTHER LARGE COARSE-TILING EQUIPMENT UNLESS THE SOIL IS FROZEN OR EXCESSIVELY WET. TILING THAT PRODUCES LARGE, COARSE CHUNKS OF SOIL IS PREFERABLE TO TILING THAT RESULTS IN FINE GRAINS UNIFORM IN TEXTURE. AFTER THE AREA IS LOOSENED IT SHALL NOT BE DRIVEN OVER BY ANY VEHICLE.
- APPLY PRE-EMERGENT WEED CONTROL TO ALL PLANT BEDS PRIOR TO MULCHING. ENSURE COMPATIBILITY BETWEEN PRODUCT AND PLANT MATERIAL.
- ALL PLANTING SOIL SHALL BE AMENDED WITH THE FOLLOWING:
 - MYCORR TREE SAVER - A DRY GRANULAR MYCORRHIZAL FUNGI INOCULANT THAT IS MIXED IN THE BACKFILL WHEN PLANTING TREES AND SHRUBS. IT CONTAINS SPORES OF BOTH ECTOMYCORRHIZAL AND VA MYCORRHIZAL FUNGI (VAM), BENEFICIAL RHIZOSPHERE BACTERIA, TERRA-SORB SUPERABSORBENT HYDROGEL TO REDUCE WATER LEACHING, AND SELECTED ORGANIC MICROBIAL NUTRIENTS.
 - DIRECTIONS FOR USE: USE 3-OZ PER EACH FOOT DIAMETER OF THE ROOT BALL OR 3-OZ PER INCH CALIPER. MIX INTO THE BACKFILL WHEN TRANSPLANTING TREES AND SHRUBS. MIX PRODUCT IN A RING-SHAPED VOLUME OF SOIL AROUND THE UPPER PORTION OF THE ROOT BALL, EXTENDING FROM THE SOIL SURFACE TO A DEPTH OF ABOUT 8 INCHES, AND EXTENDING OUT FROM THE ROOT BALL ABOUT 8 INCHES INTO THE BACKFILL. APPLY WATER TO SOIL SATURATION.
 - MYCORR® TREE SAVER® IS EFFECTIVE FOR ALL TREE AND SHRUB SPECIES EXCEPT RHODODENDRONS, AZALEAS, AND MOUNTAIN LAUREL, WHICH REQUIRE ERICOID MYCORRHIZAE.
 - SOIL PH: THE FUNGI IN THIS PRODUCT WERE CHOSEN BASED ON THEIR ABILITY TO SURVIVE AND COLONIZE PLANT ROOTS IN A PH RANGE OF 3 TO 9.
 - FUNGICIDES: THE USE OF CERTAIN FUNGICIDES CAN HAVE A DETRIMENTAL EFFECT ON THE INOCULATION PROGRAM. SOIL APPLICATION OF ANY FUNGICIDE IS NOT RECOMMENDED FOR TWO WEEKS AFTER APPLICATION.
 - OTHER PESTICIDES: HERBICIDES AND INSECTICIDES DO NOT NORMALLY INTERFERE WITH MYCORRHIZAL FUNGAL DEVELOPMENT, BUT MAY INHIBIT THE GROWTH OF SOME TREE AND SHRUB SPECIES IF NOT USED PROPERLY.

- MYCORR TREE SAVER - A DRY GRANULAR MYCORRHIZAL FUNGI INOCULANT THAT IS MIXED IN THE BACKFILL WHEN PLANTING TREES AND SHRUBS. IT CONTAINS SPORES OF BOTH ECTOMYCORRHIZAL AND VA MYCORRHIZAL FUNGI (VAM), BENEFICIAL RHIZOSPHERE BACTERIA, TERRA-SORB SUPERABSORBENT HYDROGEL TO REDUCE WATER LEACHING, AND SELECTED ORGANIC MICROBIAL NUTRIENTS.**
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HEALTHY START MACRO TABS 12-8-8

- FERTILIZER TABLETS ARE PLACED IN THE UPPER 4 INCHES OF BACKFILL SOIL WHEN PLANTING TREES AND SHRUBS.
- TABLETS ARE FORMULATED FOR SLOW BIODEGRADATION AND LAST UP TO 2 YEARS AFTER PLANTING. TABLETS CONTAIN 12-8-8 NPK FERTILIZER, AS WELL AS A MINIMUM OF SEVEN PERCENT (7%) HUMIC ACID BY WEIGHT, MICROBIAL NUTRIENTS DERIVED FROM SEA KELP, PROTEIN BYPRODUCTS, AND YUCCA SCHIDIGERA, AND A COMPLEMENT OF BENEFICIAL RHIZOSPHERE BACTERIA. THE STANDARD 21 GRAM TABLET IS SPECIFIED HERE. DIRECTIONS FOR USE: FOR PLANTING BALLED & BURLAPPED (B&B) TREES AND SHRUBS, MEASURE THE THICKNESS OF THE TRUNK, AND USE ABOUT 1 TABLET (21-G) PER HALF-INCH. PLACE THE TABLETS DIRECTLY NEXT TO THE ROOT BALL, EVENLY DISTRIBUTED AROUND ITS PERIMETER, AT A DEPTH OF ABOUT 4 INCHES.

PLANT QUALITY AND HANDLING NOTES:

- ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z601-2004) OR LATEST REVISION AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- IN ALL CASES, BOTANICAL NAMES LISTED WITHIN THE APPROVED OR FINAL PLANT LIST SHALL TAKE PRECEDENCE OVER COMMON NAMES.
- ALL PLANTS SHALL BE OF SELECTED SPECIMEN QUALITY, EXCEPTIONALLY HEAVY, TIGHTLY KNIT, SO TRAINED OR FAVORED IN THEIR DEVELOPMENT AND APPEARANCE AS TO BE SUPERIOR IN FORM, NUMBER OF BRANCHES, COMPACTNESS AND SYMMETRY. ALL PLANTS SHALL HAVE A NORMAL HABIT OR SOUND, HEALTHY, VIGOROUS PLANTS WITH WELL DEVELOPED ROOT SYSTEM. PLANTS SHALL BE FREE OF DISEASE, INSECT PESTS, EGGS OR LARVAE.
- PLANTS SHALL NOT BE PRUNED BEFORE DELIVERY. TREES WITH ABRASION OF THE BARK, SUNSCALDS, DISFIGURING KNOTS OR FRESH CUTS OF LIMBS OVER ONE AND ONE-FOURTH INCHES (1-1/4") WHICH HAVE NOT COMPLETELY CALLOUSED SHALL BE REJECTED.
- ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH AND BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE.
- THE ROOT SYSTEM OF EACH PLANT SHALL BE WELL PROVIDED WITH FIBROUS ROOTS. ALL PARTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND DENSELY FOLIATED WHEN IN LEAF.
- ALL PLANTS DESIGNATED BALL AND BURLAP (B&B) MUST BE MOVED WITH THE ROOT SYSTEM AS SOLID UNITS WITH BALLS OF EARTH FIRMLY WRAPPED WITH BURLAP. THE DIAMETER AND DEPTH OF THE BALLS OF EARTH MUST BE SUFFICIENT TO ENCOMPASS THE FIBROUS ROOT FEEDING SYSTEMS NECESSARY FOR THE HEALTHY DEVELOPMENT OF THE PLANT. NO PLANT SHALL BE ACCEPTED WHEN THE BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN BADLY CRACKED OR BROKEN PREPARATORY TO OR DURING THE PROCESS OF PLANTING. THE BALLS SHALL REMAIN INTACT DURING ALL OPERATIONS. ALL PLANTS THAT CANNOT BE PLANTED AT ONCE MUST BE HELED-IN BY SETTING IN THE GROUND AND COVERING THE BALLS WITH SOIL OR MULCH AND THEN WATERING. HEMP BURLAP AND TWINE IS PREFERABLE TO TREATED. IF TREATED BURLAP IS USED, ALL TWINE IS TO BE CUT FROM AROUND THE TRUNK AND ALL BURLAP IS TO BE REMOVED.
- PLANTS TRANSPORTED TO THE PROJECT IN OPEN VEHICLES SHALL BE COVERED WITH TARPS OR OTHER SUITABLE COVERS SECURELY FASTENED TO THE BODY OF THE VEHICLE TO PREVENT INJURY TO THE PLANTS. CLOSED VEHICLES SHALL BE ADEQUATELY VENTILATED TO PREVENT OVERHEATING OF THE PLANTS. EVIDENCE OF INADEQUATE PROTECTION FOLLOWING DIGGING, CARELESSNESS WHILE IN TRANSIT, OR IMPROPER HANDLING OR STORAGE SHALL BE CAUSE FOR REJECTION OF PLANT MATERIAL. ALL PLANTS SHALL BE KEPT MOIST, FRESH, AND PROTECTED. SUCH PROTECTION SHALL ENCOMPASS THE ENTIRE PERIOD DURING WHICH THE PLANTS ARE IN TRANSIT, BEING HANDLED, OR ARE IN TEMPORARY STORAGE.
- ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE CORRESPONDING LANDSCAPE PLAN AND PLANTING SPECIFICATIONS.
- LANDSCAPE CONTRACTOR SHALL MAKE BEST EFFORT TO INSTALL PLANTINGS ON THE SAME DAY AS DELIVERY. IF PLANTS ARE NOT PLANTED IMMEDIATELY ON SITE, PROPER CARE SHALL BE TAKEN TO PLACE THE PLANTINGS IN PARTIAL SHADE WHEN POSSIBLE. THE ROOT BALL SHALL BE KEPT MOIST AT ALL TIME AND COVERED WITH MOISTENED MULCH OR AGED BURLAP. PROPER IRRIGATION SHALL BE SUPPLIED SO AS NOT TO ALLOW THE ROOT BALL TO DRY OUT. PLANTINGS SHALL BE UNTIED AND PROPER SPACING SHALL BE ALLOTTED FOR AIR CIRCULATION AND TO PREVENT DISEASE, WILTING, AND LEAF LOSS. PLANTS THAT REMAIN UNPLANTED FOR A PERIOD OF TIME GREATER THAN THREE (3) DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH AND WATERED AS REQUIRED TO PRESERVE ROOT MOISTURE.
- NO PLANT MATERIAL SHALL BE PLANTED IN MUDDY OR FROZEN SOIL.
- PLANTS WITH INJURED ROOTS OR BRANCHES SHALL BE PRUNED PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY DISEASED OR INJURED PLANTS SHALL BE REMOVED.
- IF ROCKS OR OTHER UNDERGROUND OBSTRUCTION IS ENCOUNTERED, THE LANDSCAPE DESIGNER RESERVES THE RIGHT TO REMOVE OR ENCASE THE OBSTRUCTION FROM THE CONTRACT AREA.
- IF PLANTS ARE PROPOSED WITHIN SIGHT TRIANGLES, TREES SHALL BE LIMBED AND MAINTAINED TO A HEIGHT OF EIGHT FEET (8') ABOVE GRADE, AND SHRUBS, GROUND COVER, PERENNIALS, AND ANNUALS SHALL BE MAINTAINED TO A HEIGHT NOT TO EXCEED TWO FEET (2') ABOVE GRADE UNLESS OTHERWISE NOTED OR SPECIFIED BY THE GOVERNING MUNICIPALITY OR AGENCY.
- INSTALLATION SHALL OCCUR DURING THE FOLLOWING SEASONS:
 - PLANTS (MARCH 15 - DECEMBER 15)
 - LAWNS (MARCH 15 - JUNE 15 OR SEPTEMBER 1 - DECEMBER 1)
- THE FOLLOWING TREES ARE SUSCEPTIBLE TO TRANSPORT SHOCK AND SHALL NOT BE PLANTED DURING THE FALL SEASON (STARTING SEPTEMBER 15):
 - ABIES CONCOLOR
 - ACER BURGERSIANUM
 - ACER FRAXINIFOLIUM
 - ACER RUBRUM
 - ACER SACCHARINUM
 - BETULA VARIETIES
 - CARPINUS VARIETIES
 - CEDRUS DEODARA
 - CELTIS VARIETIES
 - CERCIDIPHYLLUM VARIETIES
 - CORNUS VARIETIES
 - CORNUS VARIETIES
 - CRATAEGUS VARIETIES
 - CULCINARIA VARIETIES
 - FAGUS VARIETIES
 - HALESIA VARIETIES
 - ILEX X FOETIDA
 - ILEX NELLE STEVENS
 - ILEX OPACA
 - JUNIPERUS VIRGINIANA
 - KOELERUTERA PANICULATA
 - LIQUIDAMBAR VARIETIES
 - LIRIODENDRON VARIETIES
 - MALUS IN LEAF
 - NYSSA SYLVATICA
 - OSTRYA VIRGINIANA
 - PINUS NIGRA
 - QUERCUS VARIETIES
 - POPULUS VARIETIES
 - PRUNUS VARIETIES
 - PYRUS VARIETIES
 - QUERCUS VARIETIES (NOT Q. PALUSTRIS)
 - SALIX WEEPING VARIETIES
 - SORBUS VARIETIES
 - TAXODIUM VARIETIES
 - TAXUS & REPANDENS
 - TILIA TOMENTOSA VARIETIES
 - ULMUS PARVIFOLIA VARIETIES
 - ZELKOVA VARIETIES
- IF A PROPOSED PLANT IS UNAVAILABLE OR ON THE FALL DIGGING HAZARD LIST, AN EQUIVALENT SPECIES OF THE SAME SIZE MAY BE REQUESTED FOR SUBSTITUTION OF THE ORIGINAL PLANT. ALL SUBSTITUTIONS SHALL BE APPROVED BY THE PROJECT LANDSCAPE DESIGNER OR MUNICIPAL OFFICIAL PRIOR TO ORDERING AND INSTALLATION.
- DURING THE COURSE OF CONSTRUCTION/PLANT INSTALLATION, EXCESS AND WASTE MATERIALS SHALL BE CONTINUOUSLY AND PROMPTLY REMOVED AT THE END OF EACH WORK DAY. ALL DEBRIS, MATERIALS, AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF AND ALL PAVED AREAS SHALL BE CLEANED.
- THE LANDSCAPE CONTRACTOR SHALL DISPOSE OF ALL RUBBISH AND EXCESS SOIL AT HIS EXPENSE TO AN OFF-SITE LOCATION AS APPROVED BY THE LOCAL MUNICIPALITY.
- A 90-DAY MAINTENANCE PERIOD SHALL BEGIN IMMEDIATELY AFTER ALL PLANTS HAVE BEEN SATISFACTORILY INSTALLED.
- MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO, REPLACING MULCH THAT HAS BEEN DISPLACED BY EROSION OR OTHER MEANS, REPAIRING AND RESHAPING WATER RINGS OR SAUCERS, MAINTAINING STAKES AND GUYNS IF ORIGINALLY REQUIRED, WATERING WHEN NEEDED OR DIRECTED, WEEDING, PRUNING, SPRAYING, FERTILIZING, MOWING THE LAWN, AND PERFORMING ANY OTHER WORK REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION.
- MOW ALL GRASS AREAS AT REGULAR INTERVALS TO KEEP THE GRASS HEIGHT FROM EXCEEDING THREE INCHES (3"). MOWING SHALL BE PERFORMED ONLY WHEN GRASS IS DRY. MOWER BLADE SHALL BE SET TO REMOVE NO MORE THAN ONE THIRD (1/3) OF THE GRASS LENGTH. WHEN THE AMOUNT OF GRASS IS HEAVY, IT SHALL BE REMOVED TO PREVENT DESTRUCTION OF THE UNDERLYING TURF. MOW GRASS AREAS IN SUCH A MANNER AS TO PREVENT CLIPPINGS FROM BLOWING ON PAVED AREAS, AND SIDEWALKS. CLEANING AFTER MOWING SHALL INCLUDE SWEEPING OR BLOWING OF PAVED AREAS AND SIDEWALKS TO CLEAR THEM FROM MOWING DEBRIS.
- GRASSED AREAS DAMAGED DURING THE PROCESS OF THE WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, WHO SHALL RESTORE THE DISTURBED AREAS TO A CONDITION SATISFACTORY TO THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIAL, OR OWNER/OWNER'S REPRESENTATIVE. THIS MAY INCLUDE FILLING TO GRADE, FERTILIZING, SEEDING, AND MULCHING.
- SHOULD THE OWNER REQUIRE MAINTENANCE BEYOND THE STANDARD 90-DAY MAINTENANCE PERIOD, A SEPARATE CONTRACT SHALL BE ESTABLISHED.
- LANDSCAPE CONTRACTOR SHALL WATER NEW PLANTINGS FROM TIME OF INSTALL AND THROUGHOUT THE REQUIRED 90-DAY MAINTENANCE PERIOD UNTIL PLANTS ARE ESTABLISHED. IF ON-SITE WATER IS NOT AVAILABLE AT THE PROJECT LOCATION, THE LANDSCAPE CONTRACTOR SHALL FURNISH IT BY MEANS OF A WATERING TRUCK OR OTHER ACCEPTABLE MEANS.
- THE QUANTITY OF WATER APPLIED AT ONE TIME SHALL BE SUFFICIENT TO PENETRATE THE SOIL TO A MINIMUM OF EIGHT INCHES (8") IN SHRUB BEDS AND SIX INCHES (6") IN TURF AREAS AT A RATE WHICH WILL PREVENT SATURATION OF THE SOIL.
- IF AN AUTOMATIC IRRIGATION SYSTEM HAS BEEN INSTALLED, IT CAN BE USED FOR WATERING PLANT MATERIAL. HOWEVER, FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY OF PLANT HEALTH AND ESTABLISHMENT.

PLANT MATERIAL GUARANTEE NOTES:

- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR (1 YR.) FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIAL, OR OWNER/OWNER'S REPRESENTATIVE.
- THE LANDSCAPE CONTRACTOR SHALL REMOVE AND REPLACE DYING, DEAD, OR DEFECTIVE PLANT MATERIAL AT HIS EXPENSE. THE LANDSCAPE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ANY DAMAGES CAUSED BY HIS COMPANY'S OPERATIONS.
- ALL REPLACEMENT PLANTS SHALL BE OF THE SAME SPECIES AND SIZE AS SPECIFIED ON THE APPROVED OR FINAL PLANT LIST. REPLACEMENTS RESULTING FROM REMOVAL, LOSS, OR DAMAGE DUE TO OCCUPANCY OF THE PROJECT IN ANY PART: VANDALISM, PHYSICAL DAMAGE BY ANIMALS, VEHICLES, ETC., AND LOSSES DUE TO CURTALMENT OF WATER BY LOCAL AUTHORITIES SHALL BE APPROVED AND PAID FOR BY THE OWNER.
- THE CONTRACTOR SHALL INSTRUCT THE OWNER AS TO THE PROPER CARE AND MAINTENANCE OF ALL PLANTINGS.

LAWN (SEED OR SOD) NOTES:

- SEED MIXTURE SHALL BE FRESH, CLEAN, NEW CROP SEED. SOD SHALL BE STRONGLY ROOTED, UNIFORM IN THICKNESS, AND FREE OF WEEDS, DISEASE, AND PESTS.
- SEED OR SOD SHALL BE PURCHASED FROM A RECOGNIZED DISTRIBUTOR AND SHALL BE COMPOSED OF THE MIX OR BLEND WITH THE PROPER PERCENTAGE OF SEEDS AND SOIL AS SPECIFIED ON THE APPROVED OR FINAL PLANT LIST.
- REFERENCE LANDSCAPE PLAN FOR AREAS TO BE SEED OR LAID WITH SOD.
- SEEDING SHALL NOT BE PERFORMED IN WINDY WEATHER. IF THE SEASON OF THE PROJECT COMPLETION PROHIBITS PERMANENT STABILIZATION, TEMPORARY STABILIZATION SHALL BE PROVIDED IN ACCORDANCE WITH THE "TEMPORARY SEEDING SPECIFICATION".
- PROTECT NEW LAWN AREAS AGAINST TRESPASSING WHILE THE SEED IS GERMINATING. FURNISH AND INSTALL FENCES, SIGNS, BARRIERS OR ANY OTHER NECESSARY TEMPORARY PROTECTIVE DEVICES. DAMAGE RESULTING FROM TRESPASS, EROSION, WASHOUT, SETTLEMENT OR OTHER CAUSES SHALL BE REPAIRED BY THE LANDSCAPE CONTRACTOR AT HIS EXPENSE. REMOVE ALL FENCES, SIGNS, BARRIERS OR OTHER TEMPORARY PROTECTIVE DEVICES ONCE LAWN HAS BEEN ESTABLISHED.

NO.	DATE	ISSUE	BY
02	05/13/2020	FOR MUNICIPAL SUBMISSION	SS
01	03/03/2020	FOR MUNICIPAL SUBMISSION	MFZ

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Phone 201.340.4468 - Fax 201.340.4472

PRELIMINARY & FINAL SITE PLAN
PROPOSED PARKING LOT AND
ASSOCIATED SITE IMPROVEMENTS

BLOCK 4602, LOTS 20 & 24
371 NORTH FRANKLIN AVENUE
TOWNSHIP OF HUNTERDON
ESSEX COUNTY, NEW JERSEY

CHARLES D. OLIVO, P.E.
NEW JERSEY LICENSE No. 46719
LICENSED PROFESSIONAL ENGINEER

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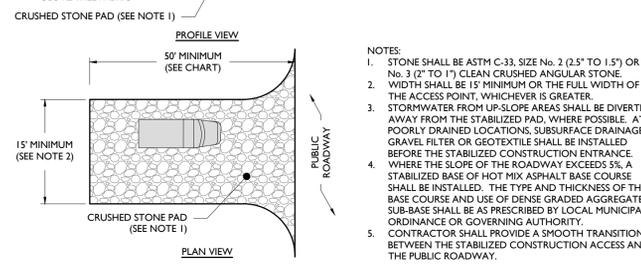
SCALE: AS SHOWN PROJECT ID: T-18177

TITLE:
LANDSCAPING DETAILS

DRAWING:

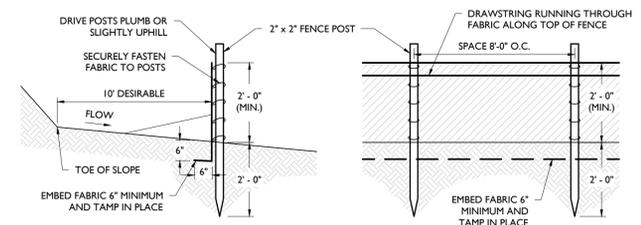
C-11

SLOPE OF PUBLIC ROADWAY	LENGTH OF STONE REQ'D	
	COARSE GRAINED SOILS	FINE GRAINED SOILS
0% TO 2%	50 FEET	100 FEET
2% TO 5%	100 FEET	200 FEET
> 5%	SEE NOTE 4	



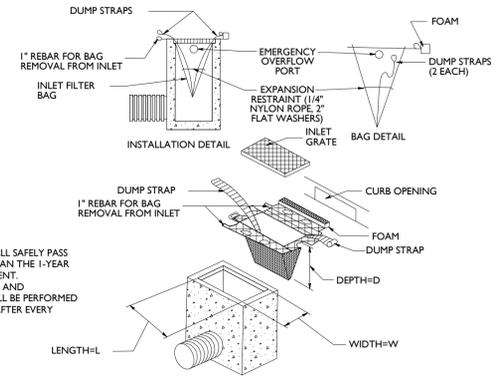
STABILIZED CONSTRUCTION ACCESS DETAIL
NOT TO SCALE

- NOTES:
- STONE SHALL BE ASTM C-33, SIZE No. 2 (2.5" TO 1.5") OR No. 3 (2" TO 1") CLEAN CRUSHED ANGULAR STONE.
 - WIDTH SHALL BE 15' MINIMUM OR THE FULL WIDTH OF THE ACCESS POINT, WHICHEVER IS GREATER.
 - STORMWATER FROM UP-SLOPE AREAS SHALL BE DIVERTED AWAY FROM THE STABILIZED PAD, WHERE POSSIBLE. AT POORLY DRAINED LOCATIONS, SUBSURFACE DRAINAGE GRAVEL FILTER OR GEOTEXTILE SHALL BE INSTALLED BEFORE THE STABILIZED CONSTRUCTION ENTRANCE. WHERE THE SLOPE OF THE ROADWAY EXCEEDS 5%, A STABILIZED BASE OF HOT MIX ASPHALT BASE COURSE SHALL BE INSTALLED. THE TYPE AND THICKNESS OF THE BASE COURSE AND USE OF DENSE GRADED AGGREGATE SUB-BASE SHALL BE AS PRESCRIBED BY LOCAL MUNICIPAL ORDINANCE OR GOVERNING AUTHORITY.
 - CONTRACTOR SHALL PROVIDE A SMOOTH TRANSITION BETWEEN THE STABILIZED CONSTRUCTION ACCESS AND THE PUBLIC ROADWAY.



SILT FENCE DETAIL
NOT TO SCALE

- NOTES:
- SECURELY FASTEN GEOTEXTILE TO FENCE POST BY USE OF WIRE TIES, HOG RINGS, STAPLES OR POCKETS. FOUR TO SIX FASTENERS PER POST.
 - GEOTEXTILE FABRIC TO BE EMBEDDED 6" (MIN.) AND TAMP IN PLACE.
 - SECURELY FASTEN ENDS OF INDIVIDUAL ROLLS OF GEOTEXTILE TO A POST BY WRAPPING EACH END OF THE GEOTEXTILE AROUND THE POST TWICE AND ATTACHING AS SPECIFIED IN NOTE 1 ABOVE. SPLICING OF INDIVIDUAL ROLLS SHALL NOT OCCUR AT LOW POINTS.
 - SET SILT FENCE WITHIN PROJECT LIMITS. 10'-0" IS DESIRABLE.

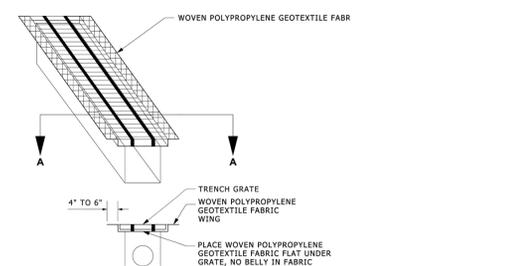


INLET FILTER BAG DETAIL
NOT TO SCALE

- NOTES:
- THE FILTER BAG SHALL SAFELY PASS FLOWS GREATER THAN THE 1-YEAR 24-HOUR STORM EVENT.
 - SEDIMENT REMOVAL AND MAINTENANCE SHALL BE PERFORMED FREQUENTLY AND AFTER EVERY STORM EVENT.

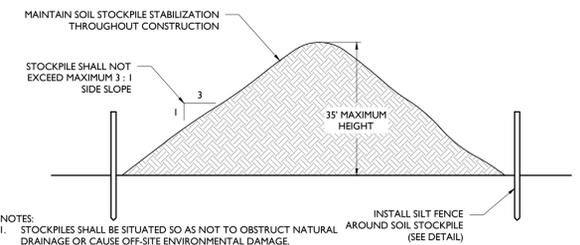
SYMBOL	DESCRIPTION
---	PROPERTY BOUNDARY
- - -	ADJACENT PROPERTY BOUNDARY
---	PROPOSED LIMIT OF DISTURBANCE
---	PROPOSED SILT FENCE
---	PROPOSED STOCKPILE & EQUIPMENT STORAGE
---	PROPOSED STABILIZED CONSTRUCTION ENTRANCE
---	PROPOSED INLET PROTECTION FILTER
---	PROPOSED TRENCH DRAIN FILTER FABRIC

- SOIL EROSION AND SEDIMENT CONTROL NOTES**
- THE CONTRACTOR IS RESPONSIBLE FOR SOIL EROSION AND SEDIMENT CONTROL IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
 - THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL AIR QUALITY STANDARDS.
 - THE CONTRACTOR IS RESPONSIBLE TO INSPECT ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES WEEKLY AND AFTER A PRECIPITATION EVENT GREATER THAN 1 INCH. THE CONTRACTOR SHALL MAINTAIN AN INSPECTION LOG ON SITE AND DOCUMENT CORRECTIVE ACTION TAKEN THROUGHOUT THE COURSE OF CONSTRUCTION AS REQUIRED.



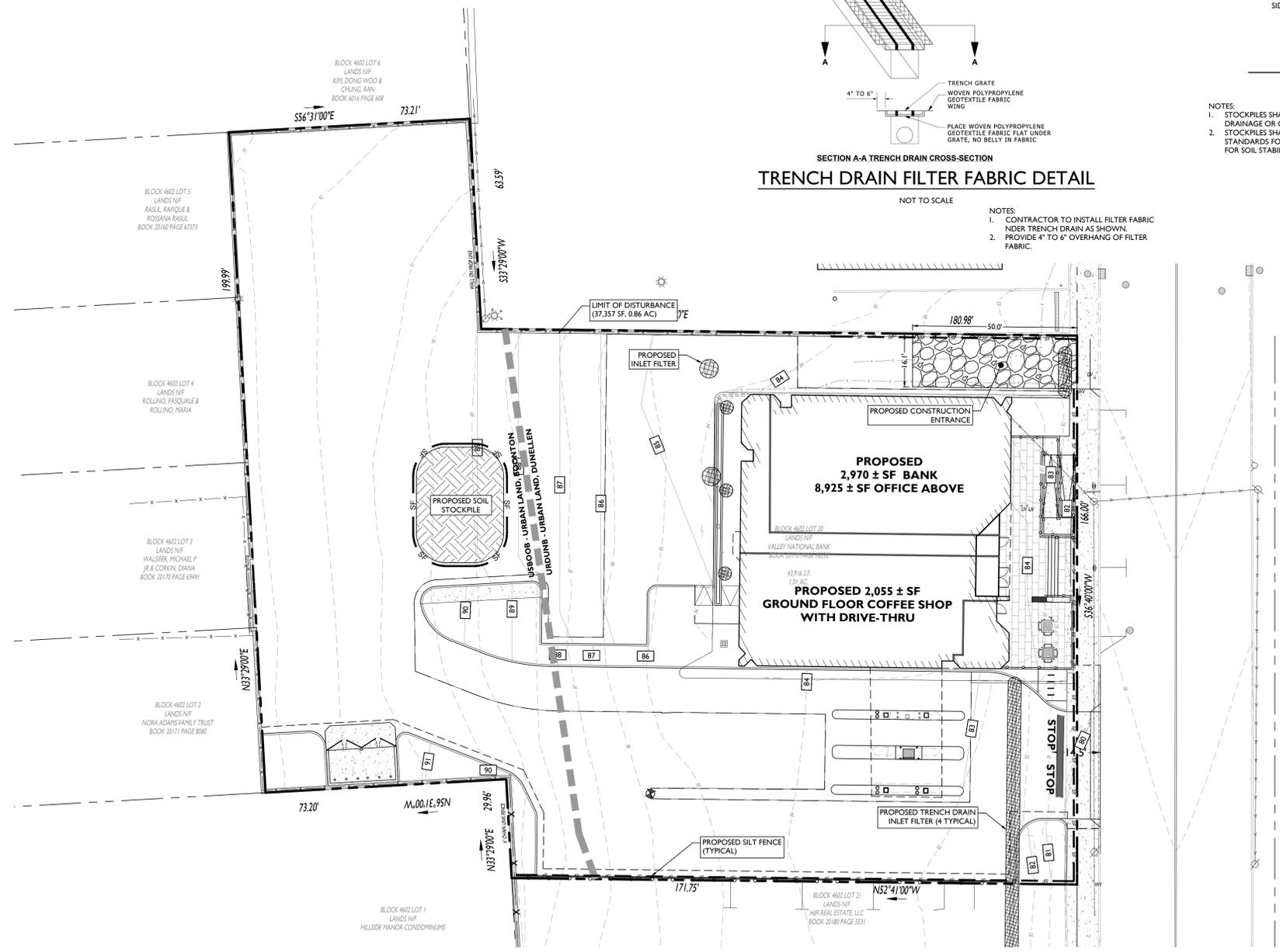
TRENCH DRAIN FILTER FABRIC DETAIL
NOT TO SCALE

- NOTES:
- CONTRACTOR TO INSTALL FILTER FABRIC UNDER TRENCH DRAIN AS SHOWN.
 - PROVIDE 4" TO 6" OVERHANG OF FILTER FABRIC.



SOIL STOCKPILE DETAIL
NOT TO SCALE

- NOTES:
- STOCKPILES SHALL BE SITUATED SO AS NOT TO OBSTRUCT NATURAL DRAINAGE OR CAUSE OFF-SITE ENVIRONMENTAL DAMAGE.
 - STOCKPILES SHALL BE STABILIZED IN ACCORDANCE WITH THE STANDARDS FOR PERMANENT OR TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION, AS APPROPRIATE (SEE SOIL EROSION NOTES).



SOIL CHARACTERISTICS CHART

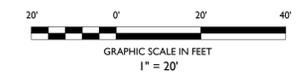
TYPE OF SOIL	URBAN LAND, DUNELLEN (URDUNB)
PERCENT OF SITE COVERAGE	61.2%
HYDROLOGIC SOIL GROUP	C
DEPTH TO RESTRICTIVE LAYER	> 80 INCHES
SOIL PERMEABILITY	8.23 IN / HR
DEPTH TO WATER TABLE	> 80 INCHES

SOIL CHARACTERISTICS CHART

TYPE OF SOIL	URBAN LAND, BOONTON (USBOOB)
PERCENT OF SITE COVERAGE	38.8%
HYDROLOGIC SOIL GROUP	C
DEPTH TO RESTRICTIVE LAYER	> 80 INCHES
SOIL PERMEABILITY	1.06 IN / HR
DEPTH TO WATER TABLE	> 80 INCHES

- FLOOD HAZARD AREA NOTES:**
- THERE ARE NO RIPARIAN ZONES ON SITE.
 - THERE ARE NO FLOODWAYS ON SITE.
 - ALL ELEVATIONS SHOWN ARE BASED ON NAVD 88 DATUM.

- SEQUENCE OF CONSTRUCTION**
- INSTALL SILT FENCE AND CONSTRUCTION ENTRANCE (2 DAYS).
 - DEMOLISH EXISTING STRUCTURES, PAVEMENT, AND GRAVEL (15 DAYS).
 - ROUGH GRADING AND TEMPORARY SEEDING (20 DAYS).
 - EXCAVATE AND INSTALL DRAINAGE PIPING AND INLETS (20 DAYS).
 - INSTALL INLET FILTERS (1 DAY).
 - BUILDING CONSTRUCTION AND SITE IMPROVEMENTS (180 DAYS).
 - CONSTRUCT RIGHT OF WAY IMPROVEMENTS (2 DAYS).
 - LANDSCAPING IMPROVEMENTS AND FINAL SEEDING (7 DAYS).
 - REMOVE SOIL EROSION MEASURES (1 DAY).
- NOTE: TIME DURATIONS ARE APPROXIMATE AND ARE INTENDED TO ACT AS A GENERAL GUIDE TO THE CONSTRUCTION TIMELINE. ALL DURATIONS ARE SUBJECT TO CHANGE BY CONTRACTOR. CONTRACTOR SHALL SUBMIT CONSTRUCTION SCHEDULE TO TOWNSHIP AND ENGINEER. CONTRACTOR SHALL PHASE CONSTRUCTION ACCORDINGLY.



DATE	ISSUE	BY	DESCRIPTION
05/13/2020	02	SS	FOR MUNICIPAL RESUBMISSION
02/07/2020	01	MFZ	FOR MUNICIPAL SUBMISSION

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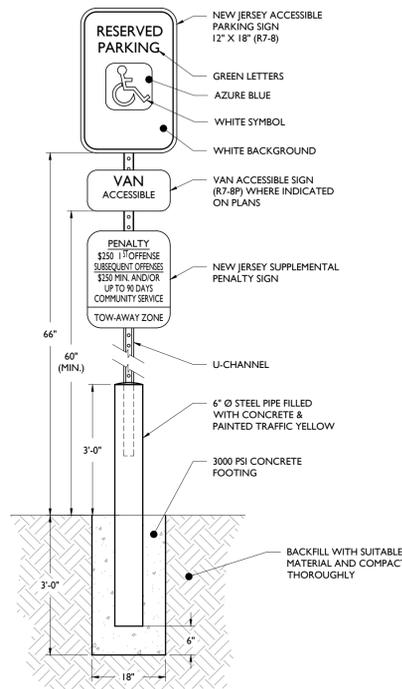
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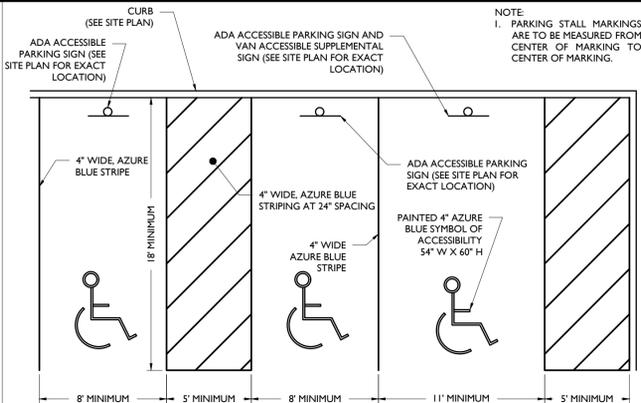
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TITLE:
SOIL EROSION & SEDIMENT CONTROL PLAN

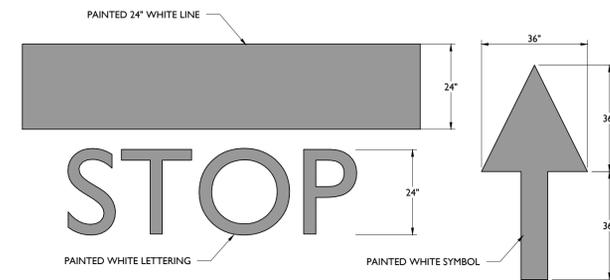
DRAWING:
C-12



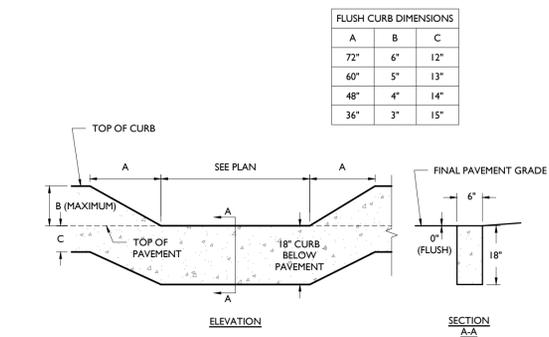
ACCESSIBLE PARKING SIGN WITH BOLLARD DETAIL
NOT TO SCALE



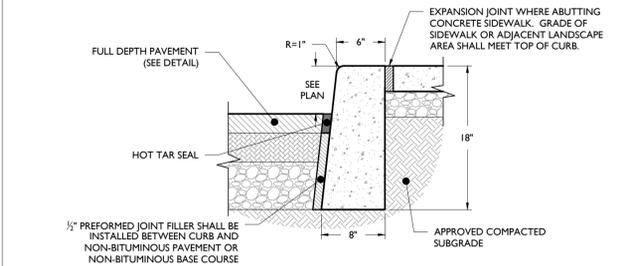
ACCESSIBLE PARKING STALL MARKINGS
NOT TO SCALE



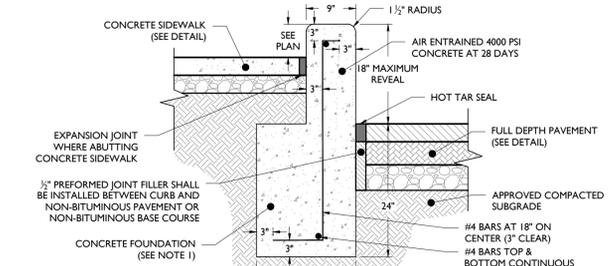
STOP BAR & ARROW DETAILS
NOT TO SCALE



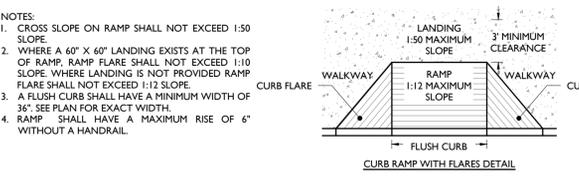
FLUSH CURB DETAIL
NOT TO SCALE



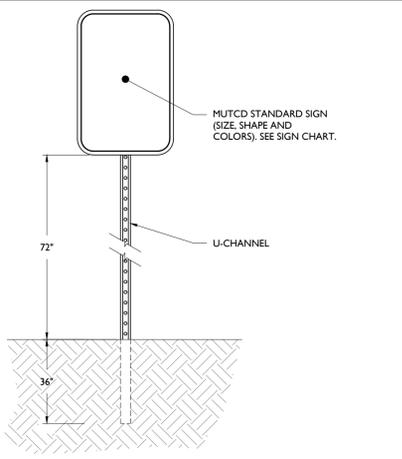
CONCRETE CURB DETAIL
NOT TO SCALE



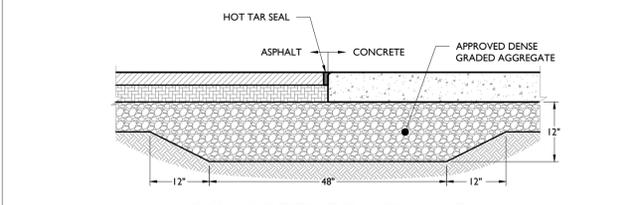
EXTENDED CONCRETE CURB DETAIL
NOT TO SCALE



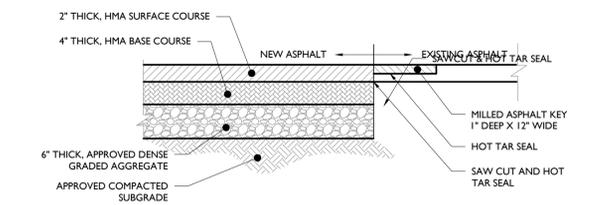
CONCRETE RAMP DETAILS
NOT TO SCALE



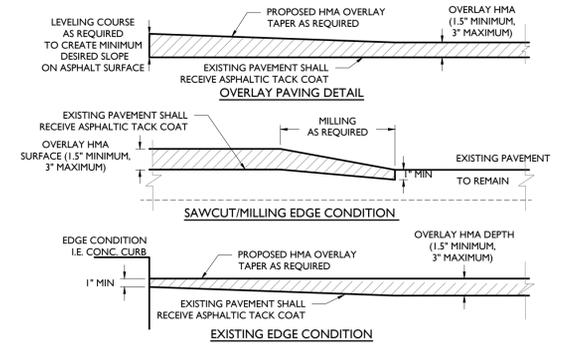
SIGN POST DETAIL
NOT TO SCALE



CONCRETE TO ASPHALT TRANSITION DETAIL
NOT TO SCALE



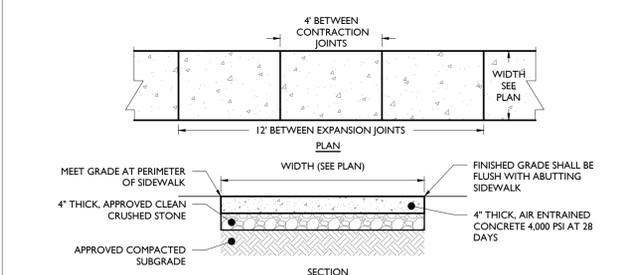
FULL DEPTH ASPHALT PAVEMENT DETAIL
NOT TO SCALE



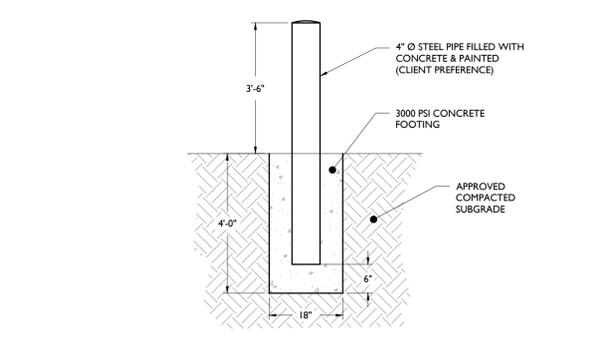
PAVEMENT MILLING & OVERLAY DETAIL
NOT TO SCALE

M.U.T.C.D. NUMBER	TEXT	COLOR		SIZE OF SIGN (WIDTH X HEIGHT)	TYPE OF MOUNT
		LEGEND	BACKGROUND		
STOP SIGN (R1-1)		RED	WHITE	36" x 36"	GROUND
NO RIGHT TURN (R3-1)		CIRCLE AND DIAGONAL: RED LEGEND: BLACK	WHITE	24" x 24"	GROUND
DO NOT ENTER (RS-1)		RED	WHITE	30" x 30"	GROUND

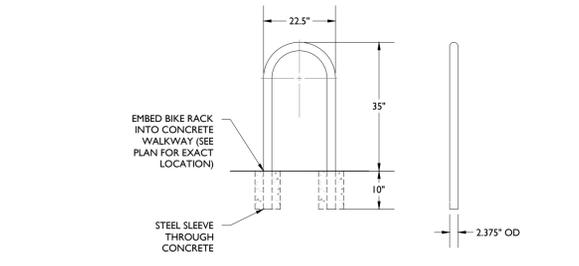
SIGN DATA TABLE
NOT TO SCALE



CONCRETE WALKWAY DETAIL
NOT TO SCALE



BOLLARD DETAIL
NOT TO SCALE



HOOP RACK HD IN GROUND MOUNTED BIKE RACK DETAIL
NOT TO SCALE

- NOTES:
1. MAXIMUM CROSS SLOPE SHALL BE 1/4" PER FOOT.
 2. 1/2" EXPANSION JOINTS SHALL BE PROVIDED AT 12' INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM THE SURFACE.
 3. 1" DEEP BY 1/2" WIDE TOOLED CONTRACTION JOINTS SHALL BE PROVIDED AT 4' INTERVALS.
 4. EXPANSION JOINT SHALL BE PROVIDED WHERE ADJACENT TO A BUILDING.

- NOTES:
1. BIKE RACK TO BE MANUFACTURED BY DERO BIKE RACKS OR APPROVED EQUAL.
 2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

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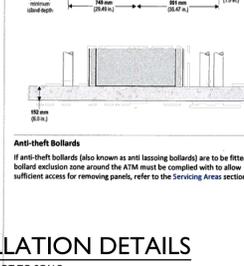
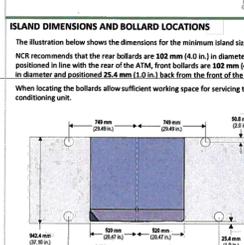
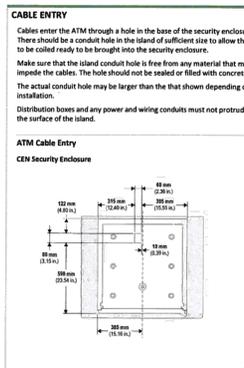
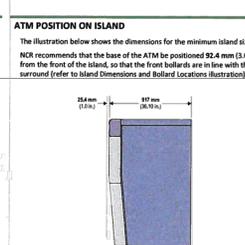
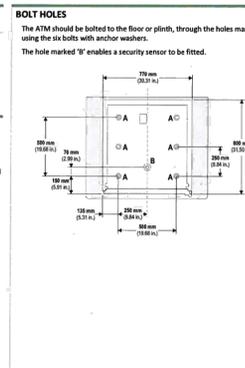
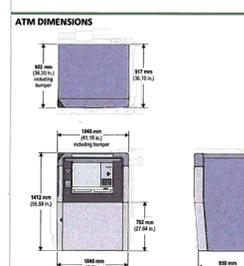
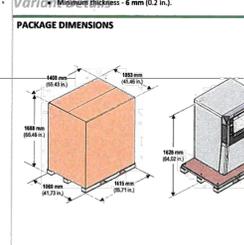
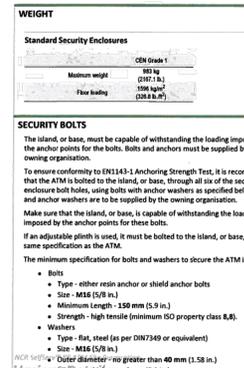
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SCALE: AS SHOWN PROJECT ID: T-18177

TITLE:
CONSTRUCTION DETAILS

DRAWING:
C-13

T:\2018\18177\NEW\DWG\18177-FRANKLIN AVENUE-NUTLEY-NCAD\2018-13-LIGHT.DWG



ATM INSTALLATION DETAILS

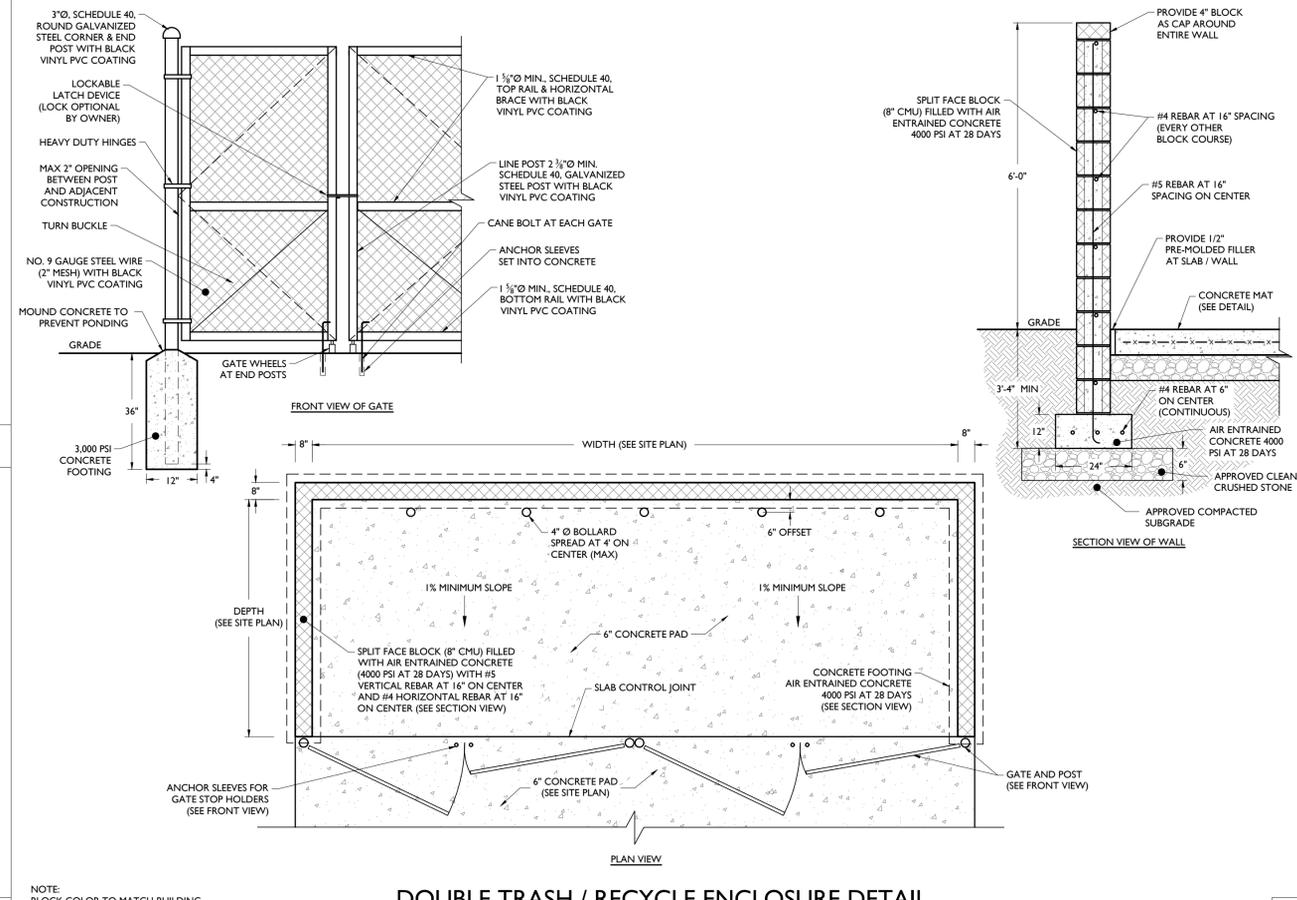
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8-2

8-1

1

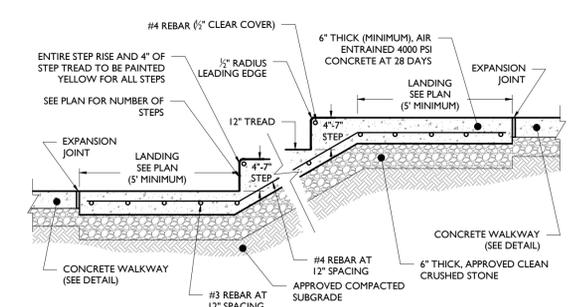
2



DOUBLE TRASH / RECYCLE ENCLOSURE DETAIL

NOT TO SCALE

3

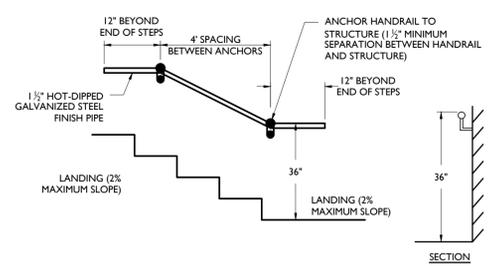


CONCRETE STEPS & ELEVATED LANDING DETAIL

NOTES:

- CONTRACTOR SHALL ENSURE 3" MINIMUM EMBEDMENT FOR REBAR EXPOSED TO EARTH AND 2" MINIMUM EMBEDMENT FOR REBAR EXPOSED TO WEATHER (SURFACE). NOSING REBAR TO BE EMBEDDED 1 1/2".
- CONTRACTOR SHALL MAINTAIN A MAXIMUM 1:50 SLOPE IN ALL DIRECTIONS WITHIN PROPOSED CONCRETE LANDINGS.
- STEPS IN SERIES SHALL HAVE UNIFORM RISER HEIGHT.

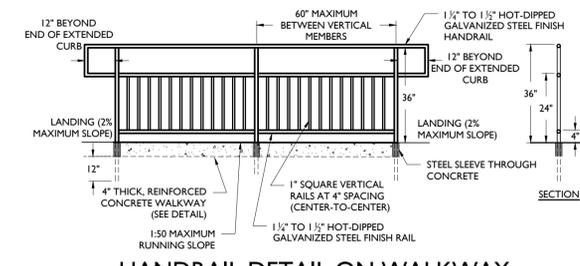
4



HANDRAIL DETAIL MOUNTED TO STRUCTURE ADJACENT TO STEPS

NOT TO SCALE

5

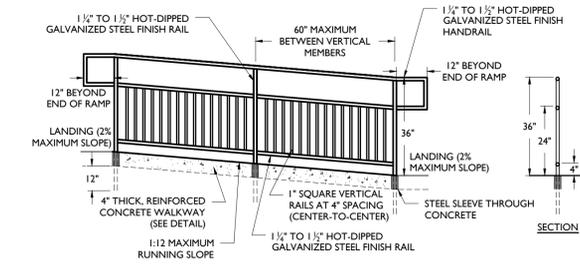


HANDRAIL DETAIL ON WALKWAY

NOTES:

- SEE PLAN FOR RAMP DIMENSIONS
- GRIND ALL WELDS SMOOTH
- HANDRAIL TO BE INSET 6" FROM EDGE OF CONCRETE
- 30" MAXIMUM RISE IN ELEVATION BETWEEN LANDINGS
- RAMPS SHALL HAVE RAILINGS ON BOTH SIDES WITH 36" MINIMUM CLEARANCE BETWEEN RAILS.

6

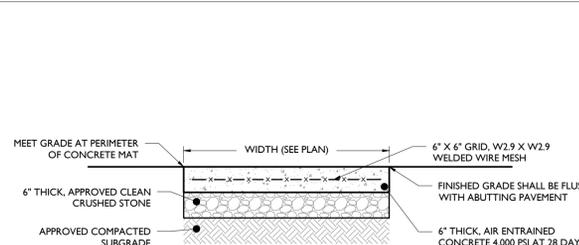


HANDRAIL DETAIL ON RAMP

NOTES:

- SEE PLAN FOR RAMP DIMENSIONS
- GRIND ALL WELDS SMOOTH
- HANDRAIL TO BE INSET 6" FROM EDGE OF CONCRETE
- 30" MAXIMUM RISE IN ELEVATION BETWEEN LANDINGS
- RAMPS SHALL HAVE RAILINGS ON BOTH SIDES WITH 36" MINIMUM CLEARANCE BETWEEN RAILS.

7

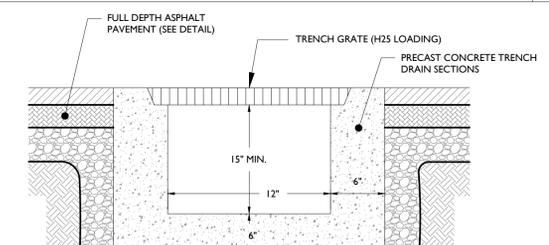


REINFORCED 6" CONCRETE MAT

NOTES:

- 1/2" EXPANSION JOINTS WITH WATER SEAL SHALL BE PROVIDED AT 12' INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM THE SURFACE. LONGITUDINAL REBAR TO BE CUT AT EXPANSION JOINTS.
- 1" DEEP BY 1/2" WIDE, TOOLED CONTRACTION JOINTS SHALL BE PROVIDED AT MID-POINT BETWEEN EXPANSION JOINTS OR 6' INTERVALS MAX.
- CONCRETE SHALL RECEIVE BROOM FINISH.
- ALL EXPOSED CORNERS TO HAVE 12" CHAMFER.

8

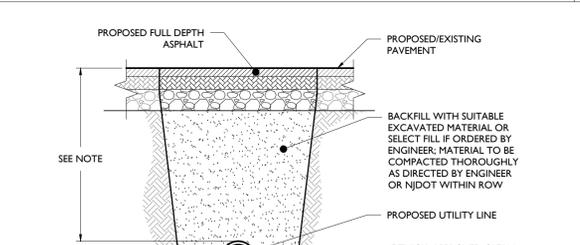


TRENCH DRAIN

NOTE:

- SEE DRAINAGE PLAN FOR DIRECTION OF INTERNAL DRAINAGE FLOWS. INTERNAL DEPTH TO VARY TO PROVIDE 0.5% SLOPE IN DIRECTION NOTED ON PLAN.

9



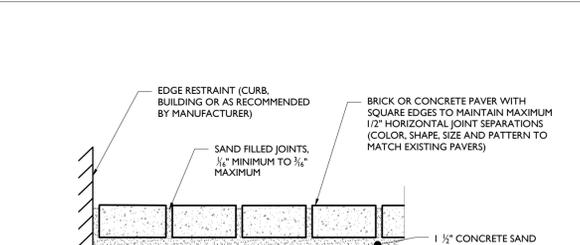
STORMWATER TRENCH DETAIL (PAVED AREA)

NOTE:

MINIMUM PIPE COVER SHALL BE AS FOLLOWS:

- WATER - 48" MIN.
- STORM DRAIN - SEE DRAINAGE PLAN

10



BRICK PAVER WALKWAY DETAIL

NOT TO SCALE

11

NO.	DATE	ISSUE	BY	DESCRIPTION
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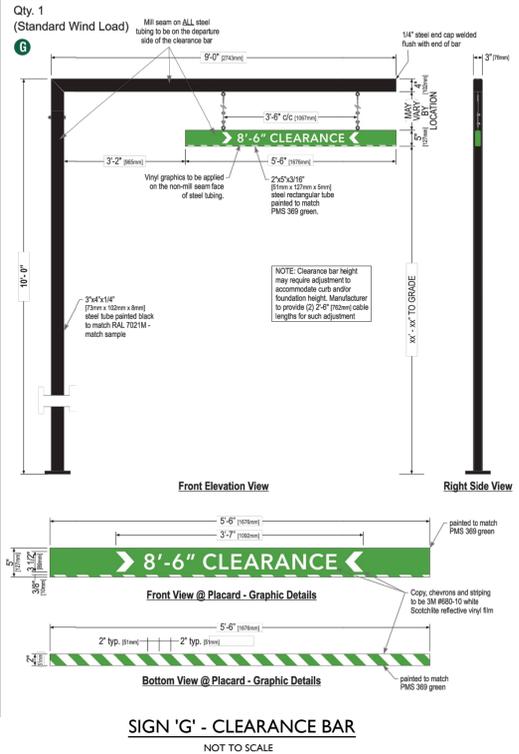
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SCALE: AS SHOWN PROJECT ID: T-18177

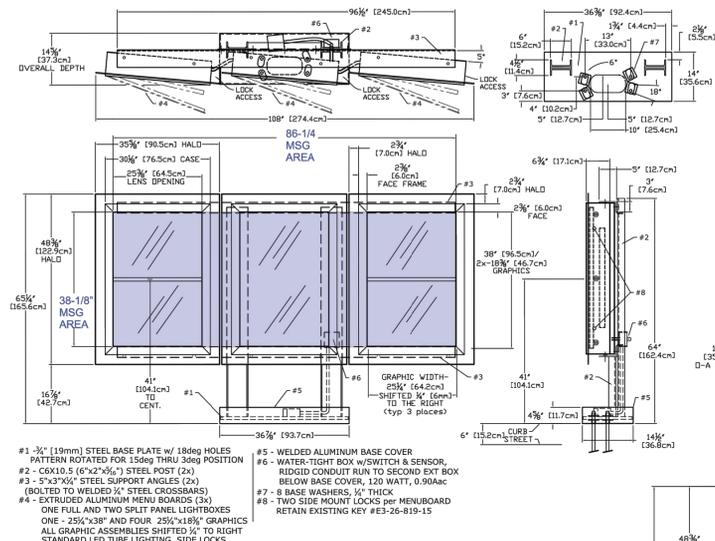
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DRAWING: C-14

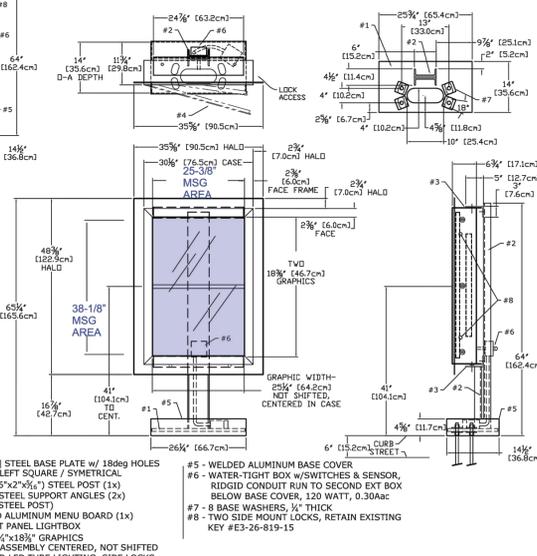
CLEARANCE BAR SBC S14106-SHB-10



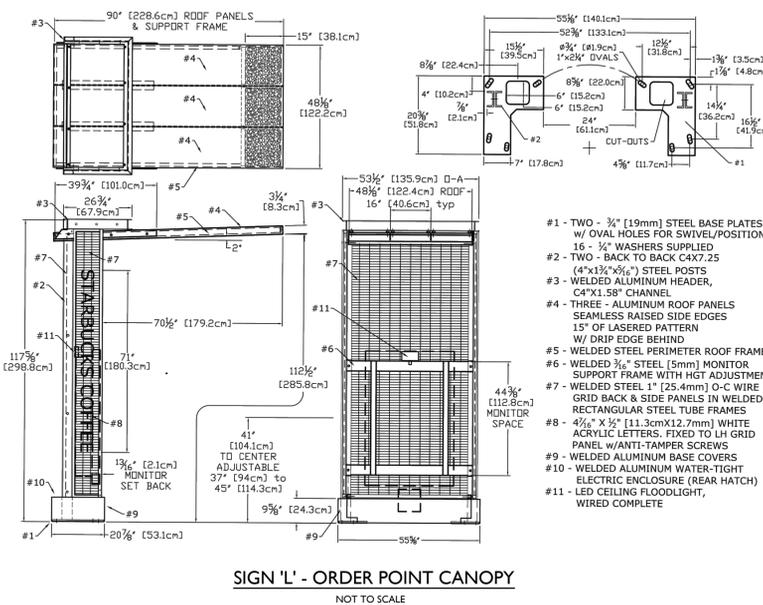
SIGN 'G' - CLEARANCE BAR
NOT TO SCALE



SIGN 'J' - DT 5 PANEL
NOT TO SCALE

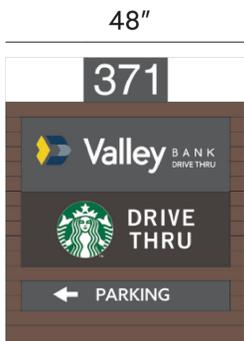


SIGN 'K' - PRE-ORDER PANEL
NOT TO SCALE



SIGN 'L' - ORDER POINT CANOPY
NOT TO SCALE

PROTOTYPICAL STARBUCKS DT SIGNAGE



2TENANT POST AND PANEL



TENANT MONUMENT SIGN
NOT TO SCALE



VALLEY BANK MONUMENT SIGN
NOT TO SCALE

PROPOSED SIGN LAYOUT
NOTES: (1X) RE-FACE, RE-SKIN & RE-LAMP EXISTING D/F ILLUMINATED POLE SIGN.
EXISTING BOX SIGN: 2'-0 1/4" HT. x 3'-5 3/16" W. x 1'-4" D.
NEW .040 ALUMINUM COVER PANELS: BOT & TOP - 1'-3 1/2" W. SIDES - 1'-2 1/2" W.
1 1/8" TOP & BOTTOM ARE PART OF EXISTING BOX SIGN
NEW 1/2" x 1 1/4" x 1 7/8" .040 ALUMINUM MOULDING PAINTED PMS 540C BLUE
REMOVE EXISTING FLOURESCENT LAMPS / BALLAST & INSTALL: (2) 36" ALLANSON SPEED LAMP #ASPL-36CW-DSMV
NEW FACE: 2'-0" x 3'-5" x 3/16" THK. WHITE POLY-CARBONATE W/ VINYL GRAPHICS
VINYL: BLUE - CUSTOM PRINTED TO MATCH PMS 540C BLUE W/ MATTE LAMINATE
GRAY - CUSTOM PRINTED TO MATCH PMS 7544C GRAY W/ MATTE LAMINATE
YELLOW - 3M SUNFLOWER (3630-25) VINYL
WHITE BACK GROUND TO BE OPAQUE AT NIGHT W/ LOGO & "VALLEY" 1/8" THK ILLUMINATED OUTLINE
"BANK" .080 THK ILLUMINATED OUTLINE



INGRESS MONUMENT SIGN
NOT TO SCALE

NO.	DATE	ISSUE	BY	DESCRIPTION
02	05/13/2020	01	SS	FOR MUNICIPAL RESUBMISSION
01	02/03/2020	01	MPZ	FOR MUNICIPAL SUBMISSION

NOT APPROVED FOR CONSTRUCTION

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PRELIMINARY & FINAL SITE PLAN

PROPOSED PARKING LOT AND ASSOCIATED SITE IMPROVEMENTS

BLOCK 4602, LOTS 20 & 24
371 NORTH FRANKLIN AVENUE
TOWNSHIP OF NUTLEY
ESSEX COUNTY, NEW JERSEY

CHARLES D. OLIVO, P.E.
NEW JERSEY LICENSE No. 46719
LICENSED PROFESSIONAL ENGINEER

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SCALE: AS SHOWN PROJECT ID: T-18177

TITLE:
SIGNAGE DETAILS

DRAWING:
C-16