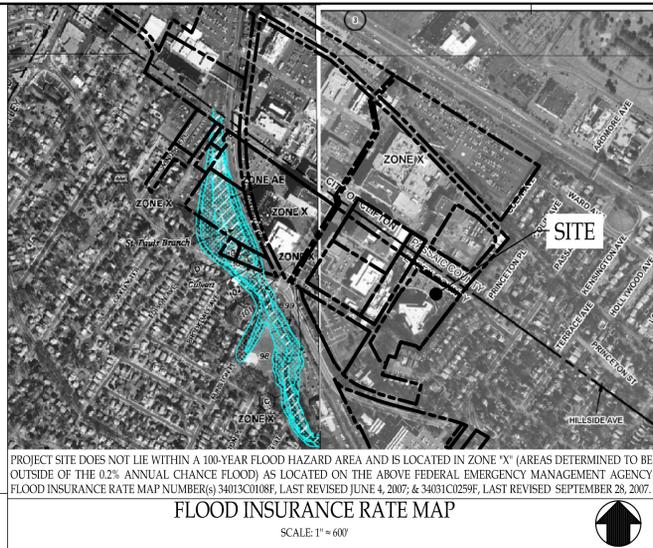


PRELIMINARY AND FINAL MAJOR SITE PLAN APPLICATION FOR 111 IDEATION WAY PARKING LOT NUTLEY, NJ



SHEET INDEX:

- 1.0 COVER SHEET
 - 1.1 EXISTING CONDITIONS SITE PLAN
 - 1.2 SITE DEMOLITION PLAN
 - 1.3 UTILITY DEMOLITION PLAN
 - 2.0 LAYOUT PLAN
 - 3.0 GRADING AND DRAINAGE PLAN
 - 3.1 STORM DRAINAGE PROFILES
 - 4.0 UTILITY PLAN
 - 5.0 SOIL EROSION AND SEDIMENT CONTROL PLAN
 - 5.1 SOIL EROSION AND SEDIMENT CONTROL NOTES
 - 5.2 SOIL EROSION AND SEDIMENT CONTROL DETAILS
 - 6.0 CONSTRUCTION DETAILS
 - 6.1 CONSTRUCTION DETAILS
 - 6.2 CONSTRUCTION DETAILS
 - 7.0 LIGHTING PLAN
 - 8.0 FIRE TRUCK CIRCULATION PLAN
- SUPPORT DOCUMENTATION:
EXISTING CONDITIONS TOPOGRAPHIC SURVEY
PROPOSED LANDSCAPING PLANS AND DETAILS

200' PROPERTY OWNER LIST			
NAME	ADDRESS	PROPERTY LOCATION	BLOCK-LOT
PAZIS, KALLERS & HARITOMENI	21 MONTCLAIR AVE NUTLEY, NJ 07110	21 MONTCLAIR AVE	800-38
OBRIEN, MICHAEL & CHEVY	58 MONTCLAIR AVE NUTLEY, NJ 07110	58 MONTCLAIR AVE	800-12
AUGUSTOWSKI, JOHN F. & LINDA	82 MONTCLAIR AVE NUTLEY, NJ 07110	82 MONTCLAIR AVE	800-19
CANFIELD, ANDREW & HEATHER	56 MONTCLAIR AVE NUTLEY, NJ 07110	56 MONTCLAIR AVE	800-18
SAIERS, RICK & DONNA	25 MONTCLAIR AVE NUTLEY, NJ 07110	25 MONTCLAIR AVE	800-35
LOVERO, PATRICK & VERONICA E.	58 MONTCLAIR AVE NUTLEY, NJ 07110	58 MONTCLAIR AVE	800-13
HARRIS, MARGARET	64 MONTCLAIR AVE NUTLEY, NJ 07110	64 MONTCLAIR AVE	800-17
BELLINI, MICHAEL & ADRIENNE	59 MONTCLAIR AVE NUTLEY, NJ 07110	59 MONTCLAIR AVE	800-16
PALMER, JAMES J. & MARIE	27 MONTCLAIR AVE NUTLEY, NJ 07110	27 MONTCLAIR AVE	800-34
SANSONE, MICHAEL & TEELING C.	42 MONTCLAIR AVE NUTLEY, NJ 07110	42 MONTCLAIR AVE	800-14
MULLIGAN, ROBERT J. AND MARY G.	31 MONTCLAIR AVE NUTLEY, NJ 07110	31 MONTCLAIR AVE	800-33
LAMES, CYNTHIA DE RAMOS	46 MONTCLAIR AVE NUTLEY, NJ 07110	46 MONTCLAIR AVE	800-15
DECOYE, YICKI AND HUSSEY, KEVIN	53 MONTCLAIR AVE NUTLEY, NJ 07110	53 MONTCLAIR AVE	800-32
PAPHRIN, NGIMA T. & GURUNG, GANGA D.	37 MONTCLAIR AVE NUTLEY, NJ 07110	37 MONTCLAIR AVE	800-31
SCHLESINGER, RICHARD & SANTA	69 MONTCLAIR AVE NUTLEY, NJ 07110	69 MONTCLAIR AVE	800-21
BRUDER, ANN MARIE & JOSEPH & RENEE	63 MONTCLAIR AVE NUTLEY, NJ 07110	63 MONTCLAIR AVE	800-22
SARNO, BRUCE AND DEBORAH	61 MONTCLAIR AVE NUTLEY, NJ 07110	61 MONTCLAIR AVE	800-23
FRANZISCO, ANTHONY & LILA	39 MONTCLAIR AVE NUTLEY, NJ 07110	39 MONTCLAIR AVE	800-30
FERO, JOEL & STEPHANIE	59 MONTCLAIR AVE NUTLEY, NJ 07110	59 MONTCLAIR AVE	800-24
LI, QIAO JIA & WANG, RING	55 MONTCLAIR AVE NUTLEY, NJ 07110	55 MONTCLAIR AVE	800-25
BULNEY, SHARON LEE	51 MONTCLAIR AVE NUTLEY, NJ 07110	51 MONTCLAIR AVE	800-26
CARAMUCCI, GAETANO & LINDA	41 MONTCLAIR AVE NUTLEY, NJ 07110	41 MONTCLAIR AVE	800-29
BORRERO, TYROR & MARYIA	21 CATHEDRAL AVE NUTLEY, NJ 07110	21 CATHEDRAL AVE	800-32
MERCADO, THERESA & ABNER	49 MONTCLAIR AVE NUTLEY, NJ 07110	49 MONTCLAIR AVE	800-27
MURPHY, BRIAN J. CHRISTINA	45 MONTCLAIR AVE NUTLEY, NJ 07110	45 MONTCLAIR AVE	800-28
SECALL, PAUL & HILDEBRANT, MARIE	15 CATHEDRAL AVE NUTLEY, NJ 07110	15 CATHEDRAL AVE	800-34
ALGIERI, DEBRA	11 CATHEDRAL AVE NUTLEY, NJ 07110	11 CATHEDRAL AVE	800-34
MENDEZ, MILTON B. & CLAUDIA	278 KINGSLAND ST NUTLEY, NJ 07110	278 KINGSLAND ST	800-58
RUBIN, DAVID AND BERSH, BONNIE	7 CATHEDRAL AVE NUTLEY, NJ 07110	7 CATHEDRAL AVE	800-55
DUFFY, MICHAEL & MARY ANN	174 KINGSLAND ST NUTLEY, NJ 07110	174 KINGSLAND ST	800-57
FLIPING NUTLEY 1	52 ELM ST KEARNY, NJ 07032	5 CATHEDRAL AVE	800-56
PB NUTCLIF MASTER, LLC	200 BROADACRES DR BLOOMFIELD, NJ 07003	299 KINGSLAND ST	2101-1
PB NUTCLIF MASTER, LLC	200 BROADACRES DR BLOOMFIELD, NJ 07003	340 KINGSLAND ST	800-51
RICOTTA, VINCENT JAMES	12 MONTCLAIR AVE NUTLEY, NJ 07110	12 MONTCLAIR AVE	800-4
PRINCE, ANDREA	16 MONTCLAIR AVE NUTLEY, NJ 07110	16 MONTCLAIR AVE	800-6
TOWNSHIP OF NUTLEY	1 KENNEDY DR NUTLEY, NJ 07110	150 BLOOMFIELD AVE	2100-8
BUONICCONTI, SHAUN & LELA	2 MONTCLAIR AVE NUTLEY, NJ 07110	2 MONTCLAIR AVE	800-3
COLON, RADHAMES	8 MONTCLAIR AVE NUTLEY, NJ 07110	8 MONTCLAIR AVE	800-3
MIECHAN, MICHAEL J.	20 MONTCLAIR AVE NUTLEY, NJ 07110	20 MONTCLAIR AVE	800-7
LABATE, JOSEPH G.	5 MONTCLAIR AVE NUTLEY, NJ 07110	5 MONTCLAIR AVE	800-41
RAFANELLO, MARK AND BONNIE	22 MONTCLAIR AVE NUTLEY, NJ 07110	22 MONTCLAIR AVE	800-8
ALBANESE JOHN V. & JENNIFER L.	9 MONTCLAIR AVE NUTLEY, NJ 07110	9 MONTCLAIR AVE	800-40
BUCCA, MATTHEW A. & JENNIFER M.	24 MONTCLAIR AVE NUTLEY, NJ 07110	24 MONTCLAIR AVE	800-9
PERNO, THOMAS & LOIS JEAN	11 MONTCLAIR AVE NUTLEY, NJ 07110	11 MONTCLAIR AVE	800-39
PB NUTCLIF MASTER, LLC	200 BROADACRES DR BLOOMFIELD, NJ 07003	66 MONTCLAIR AVE	800-20
AQUINE, BELAZMIN	15 MONTCLAIR AVE NUTLEY, NJ 07110	15 MONTCLAIR AVE	800-38
DALY, MICHAEL	28 MONTCLAIR AVE NUTLEY, NJ 07110	28 MONTCLAIR AVE	800-10
PARK BROOK MANSIONS CONDOMINIUMS	800 BLOOMFIELD AVE NUTLEY, NJ 07110	800 BLOOMFIELD AVE	2100-7
YURICICH, CRAIG A. & MC ADAM, JENNIFER	17 MONTCLAIR AVE NUTLEY, NJ 07110	17 MONTCLAIR AVE	800-37
ORLINSKI, LAURIE A. & THOMAS J.	32 MONTCLAIR AVE NUTLEY, NJ 07110	32 MONTCLAIR AVE	800-11
PRESE SERVICES CORPORATION'S DEPT	200 PARK PLAZA 6TH FLOOR NEWARK, NJ 07102	KINGSLAND STREET REAR	1100-9-02025
NORFOLK SOUTHERN RAILROAD	125 COUNTY ROAD JERSEY CITY, NJ 07307	NEWARK BRANCH ROAD	10-2
TGB INC.	789 BLOOMFIELD AVE NUTLEY, NJ 07110	BLOOMFIELD AVE	2100-24
HILF, CONSTANCE R.	800 BLOOMFIELD AVE APT 20 NUTLEY, NJ 07110	800 BLOOMFIELD AVE C2021	2100-9-02021
HOFFMAN - LA ROCHE INC.	800 BLOOMFIELD AVE #127 NUTLEY, NJ 07110	800 BLOOMFIELD AVE C2022	2100-9-02022
HOFFMAN - LA ROCHE INC.	800 BLOOMFIELD AVE #127 NUTLEY, NJ 07110	800 BLOOMFIELD AVE C2023	2100-9-02023
HOFFMAN - LA ROCHE INC.	800 BLOOMFIELD AVE #127 NUTLEY, NJ 07110	800 BLOOMFIELD AVE C2024	2100-9-02024
HOFFMAN - LA ROCHE INC.	800 BLOOMFIELD AVE APT 20 NUTLEY, NJ 07110	800 BLOOMFIELD AVE C2025	2100-9-02025
HANSULT, WILLIAM	800 BLOOMFIELD AVE APT 20 NUTLEY, NJ 07110	800 BLOOMFIELD AVE C2026	2100-9-02026
ACOMAYA, EFRAN & ZAMBRANA, PAMELA	14 MONTCLAIR AVE NUTLEY, NJ 07110	14 MONTCLAIR AVE	800-5
TOWNSHIP OF NUTLEY	1 KENNEDY DR NUTLEY, NJ 07110	KINGSLAND RD	1101-2
PB NUTCLIF MASTER, LLC	200 BROADACRES DR BLOOMFIELD, NJ 07003	340 KINGSLAND ST	800-1

UTILITIES TO BE NOTIFIED	
NAME	ADDRESS
AT&T CORPORATE OFFICE	P.O. BOX 7207 BEDMINSTER, NJ 07921-7207
NJ DEPT OF TRANSPORTATION	1035 PARKWAY AVE CN-600 TRENTON, NJ 08625
ESSEX COUNTY PLANNING BOARD PUBLIC WORKS BUILDING	900 BLOOMFIELD AVE VERONA, NJ 07044
PSE&G COMPANY MANAGER CORPORATE PROPERTIES	80 PARK PLAZA T6B NEWARK, NJ 07102
NORTH JERSEY DISTRICT WATER SUPPLY CO.	1 F.A. ORECHIO DRIVE WANAQUE, NJ 07465
PASSAIC VALLEY WATER CO.	1525 MAIN AVENUE CLIFTON, NJ 07011
VERIZON	640 BRIDGE STREET ROOM 305 NEWARK, NJ 07101
TCI OF NORTHERN NEW JERSEY	40 POTATO ROAD OAKLAND, NJ 07436 ATTN: DAN GANNON
ESSEX COUNTY UTILITIES AUTHORITY LEROY R. SMITH JR. PUBLIC SAFETY BUILDING	80 NELSON PLACE 6TH FLOOR NEWARK, NJ 07102
NORFOLK SOUTHERN RAILWAY	125 COUNTY ROAD JERSEY CITY, NJ 07307

LIST OF VARIANCES:

6.3.E.2.G - NUMBER OF PARKING SPACES REQUIRED
146 PROVIDED WHERE A MINIMUM OF 498 SPACES AND A MAXIMUM OF 830 SPACES ARE REQUIRED

OUTSIDE AGENCIES APPROVALS REQUIRED

HUDSON ESSEX PASSAIC SOIL CONSERVATION DISTRICT
NUTLEY TREE REMOVAL



111 IDEATION WAY
TOWNSHIP OF NUTLEY, ESSEX COUNTY
EXISTING BLOCK 300 - LOT 1 AND 1.05
PROPOSED LOT 1.05A

OWNER/APPLICANT: PB NUTCLIF MASTER, LLC
200 Metro Boulevard - Suite 1300
Nutley, NJ 07110
C/O Meryl A. G. Gonchar, Esq.
(609) 227-4639

ENGINEER:
GreenbergFarrow

CONTACT: STEPHEN POWERS, PE
92 EAST MAIN STREET, SUITE 410
SOMERVILLE, NJ 08876
(908) 300-5576

IMPERVIOUS SITE AREA TABLE

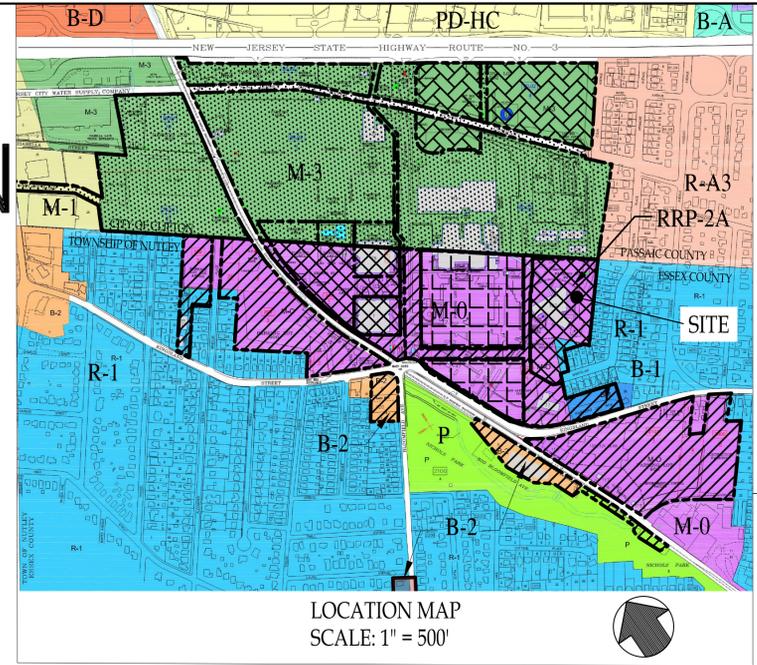
TOWNSHIP OF NUTLEY:	EXISTING	PROPOSED
LOT 1.05:		
BUILDING AREA	27,643 SF	27,643 SF
SKY WALK AREA	1,683 SF	1,683 SF
PAVEMENT & WALKWAY AREA	56,795 SF	65,442 SF
TOTAL IMPERVIOUS AREA	86,121 SF	94,768 SF

SURVEYOR:

KELLER & KIRKPATRICK INC.
301 GIBRALTAR DRIVE, SUITE 2A
MORRIS PLAINS, NJ 07950
PHONE: (973) 377-8500
PROJ: 2016072

LANDSCAPE ARCHITECT:

GREENBERGFARROW
1430 WEST PEACH TREE STREET, NW, SUITE 200
ATLANTA, GA 30309
PHONE: (404) 601-4000



ZONING DESIGNATION:	HOFFMAN LA ROCHE REDEVELOPMENT AREA WITHIN CITY OF CLIFTON	HOFFMAN LA ROCHE REDEVELOPMENT AREA WITHIN TOWNSHIP OF NUTLEY
NUTLEY ZONING:		
RRP-2A ROCHE REDEVELOPMENT PHASE IIA	HOFFMAN LA ROCHE REDEVELOPMENT AREA WITHIN CITY OF CLIFTON PHASE 2B	HOFFMAN LA ROCHE REDEVELOPMENT AREA WITHIN TOWNSHIP OF NUTLEY PHASE 1
		HOFFMAN LA ROCHE REDEVELOPMENT AREA WITHIN TOWNSHIP OF NUTLEY PHASE 2A

ALL LEASE AREAS REFERENCED IN THIS PLAN ARE WITHIN THE HOFFMAN LA ROCHE REDEVELOPMENT AREA

AREA AND BULK REQUIREMENTS:

PROPOSED ZONING DISTRICT: RRP-2A ROCHE REDEVELOPMENT PHASE IIA

ITEM DESCRIPTIONS	REQUIRED	REMAINING LOT 1.05	PROPOSED LOT 1.05A
MINIMUM LOT AREA (SQUARE FEET)	43,560 SF (1.00 AC)	178,319 SF (4.09 AC)	52,272 SF (1.20 AC)
MINIMUM LOT WIDTH (FEET)	120'	411'	171'
MINIMUM LOT DEPTH (FEET)	150'	354'	201'
MINIMUM FRONT YARD BUILDING SETBACK (FEET)	0'	2.9'	N/A
MINIMUM SIDE YARD (ONE SIDE) BUILDING SETBACK (FEET)	20'	167.9'	N/A
MINIMUM SIDE YARD (OTHER SIDE) BUILDING SETBACK (FEET)	20'	46.2'	N/A
MINIMUM REAR YARD BUILDING SETBACK (FEET)	40'	121.2'	N/A
MINIMUM LANDSCAPE BUFFER ADJACENT TO RESIDENTIAL USES (FEET)	17.75'	20.2'	N/A
MAXIMUM BUILDING HEIGHT (FEET)	EX. BLDG. HEIGHT/110' 6 STORIES/103'		N/A
MAXIMUM BUILDING COVERAGE (%)	30%	15.5% SKY WALK 0.9%	0.2%
MAXIMUM IMPERVIOUS COVERAGE (%)	75%	53.15%*	4.5%
MINIMUM PARKING SPACES	SEE CALC BELOW	146 SPACES (E)	N/A

*COVERAGE CALCULATION INCLUDES AREA OF 111 IDEATION WAY AND AREA OF SKY BRIDGE WITHIN THE PROPERTY LINE.

(E) = EXISTING NON-CONFORMITY

NOTES:

- PROPOSED REQUIREMENTS ARE BASED ON THE REDEVELOPMENT PLAN ENTITLED "NUTLEY PHASE IIA REDEVELOPMENT PLAN" DATED JULY 17, 2018 AS PREPARED BY TOPOLOGY
- REFER TO IMPERVIOUS SITE AREA TABLE BELOW FOR EXISTING AND PROPOSED IMPERVIOUS AREA BREAKDOWN CALCULATIONS
- EXISTING BOUNDARY INFORMATION IS BASED OFF PREVIOUSLY APPROVED SUBDIVISION PREPARED FOR LOTS 1.05 & 1.06, BLOCK 300 ENTITLED, "PRELIMINARY & FINAL MAJOR SUBDIVISION, TOWNSHIP OF NUTLEY, ESSEX COUNTY NEW JERSEY" DATED DECEMBER 20, 2018 AS PREPARED BY PS&S. THE PLAT WAS RECORDED ON DECEMBER 18, 2019 AND IS IDENTIFIED AS MAP #4711.

PARKING SPACE CALCULATIONS:

TOTAL REQUIRED PARKING SPACES**

MIN - OFFICE FOOTPRINT X 3.0 SPACES/1,000 SF + MEDICAL RESEARCH FOOTPRINT X 3.0 SPACES/1,000 SF
= (27,643 SF X 3 SPACES/1,000 SF) + (138,215 SF X 3 SPACES/1,000 SF)
= 83 SPACES + 415 SPACES
= 498 SPACES

MAX - OFFICE FOOTPRINT X 5.0 SPACES/1,000 SF + MEDICAL RESEARCH FOOTPRINT X 5.0 SPACES/1,000 SF
= (27,643 SF X 5 SPACES/1,000 SF) + (138,215 SF X 5 SPACES/1,000 SF)
= 139 SPACES + 691 SPACES
= 830 SPACES

TOTAL PROVIDED PARKING SPACES = 146 SPACES (INCLUDING 4 STANDARD AND 1 VAN ACCESSIBLE ADA PARKING SPACES)
** FLOOR AREA DISTRIBUTIONS TO BE CONFIRMED BY THE APPLICANT ONCE THE OCCUPANCY IS DETERMINED

PARKING CALCULATION

111 IDEATION WAY	
EXISTING PARKING SPACES	120 STALLS
PROPOSED STANDARD PARKING SPACES	135 STALLS
PROPOSED PARALLEL PARKING SPACES	6 STALLS
PROPOSED ADA STANDARD ACCESSIBLE PARKING SPACES	4 STALLS
PROPOSED ADA VAN ACCESSIBLE PARKING SPACES	1 STALLS
TOTAL PROPOSED PARKING SPACES	146 STALLS
NET INCREASE OF 26 PARKING SPACES	
IDEATION WAY STREET PARKING	
EXISTING PARALLEL PARKING SPACES	7 STALLS
PROPOSED ANGLED PARKING SPACES	10 STALLS
NET INCREASE OF 3 PARKING SPACES	
OVERALL NET INCREASE OF 29 PARKING SPACES	

Approved by Planning Board Township of Nutley	
Planning Board Chairperson	Date
Planning Board Secretary	Date
Township Engineer	Date
Approved by the County Planning Board County of Essex New Jersey	
Planning Board Chairperson	Date

GreenbergFarrow

CO#G: GA280797
92 East Main Street, Suite 410
Somerville, NJ 08876
t: 732-537-0811



ISSUE/REVISION RECORD

DATE DESCRIPTION
07/07/2020 BID SET
07/21/2020 PLANNING BOARD SUBMISSION

PROFESSIONAL SEAL

PROFESSIONAL IN CHARGE
STEPHEN POWERS
PROFESSIONAL ENGINEER
LICENSE NO. 24GE04773100

PROJECT MANAGER

RICHARD PROCANIK

QUALITY CONTROL

RICHARD PROCANIK

DRAWN BY

THOMAS WIENCKOWSKI

PROJECT NAME

111 IDEATION WAY

PARKING LOT

NUTLEY NEW JERSEY

EXISTING BLOCK 300 LOT 1 & 1.05
PROPOSED LOT 1.05A
TOWNSHIP OF NUTLEY
ESSEX COUNTY, NJ
ZONING DISTRICT: RRP-2A
ROCHE REDEVELOPMENT
PLAN PHASE IIA

PROJECT NUMBER

201617110

SHEET TITLE

COVER SHEET

SHEET NUMBER

1.0



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ISSUE/REVISION RECORD

DATE	DESCRIPTION
07/07/2020	BID SET
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PROFESSIONAL SEAL



PROFESSIONAL IN CHARGE
STEPHEN POWERS
 PROFESSIONAL ENGINEER
 LICENSE NO. 246E04773100

PROJECT MANAGER
 RICHARD PROCANIK

QUALITY CONTROL
 RICHARD PROCANIK

DRAWN BY
 THOMAS WIENCKOWSKI

PROJECT NAME
111 IDEATION WAY
PARKING LOT

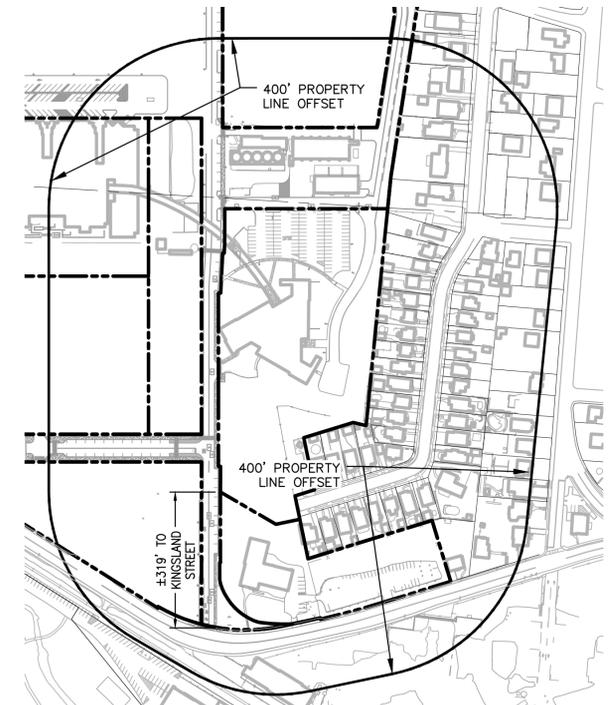
NUTLEY
NEW JERSEY

EXISTING BLOCK 300 LOT 1 & 1.05
 PROPOSED LOT 1.05A
 TOWNSHIP OF NUTLEY
 ESSEX COUNTY, NJ
 ZONING DISTRICT: RRP-2A
 ROCHE
 REDEVELOPMENT
 PLAN PHASE 1A

PROJECT NUMBER
 20161711.0

SHEET TITLE
EXISTING CONDITIONS
SITE PLAN

SHEET NUMBER
1.1



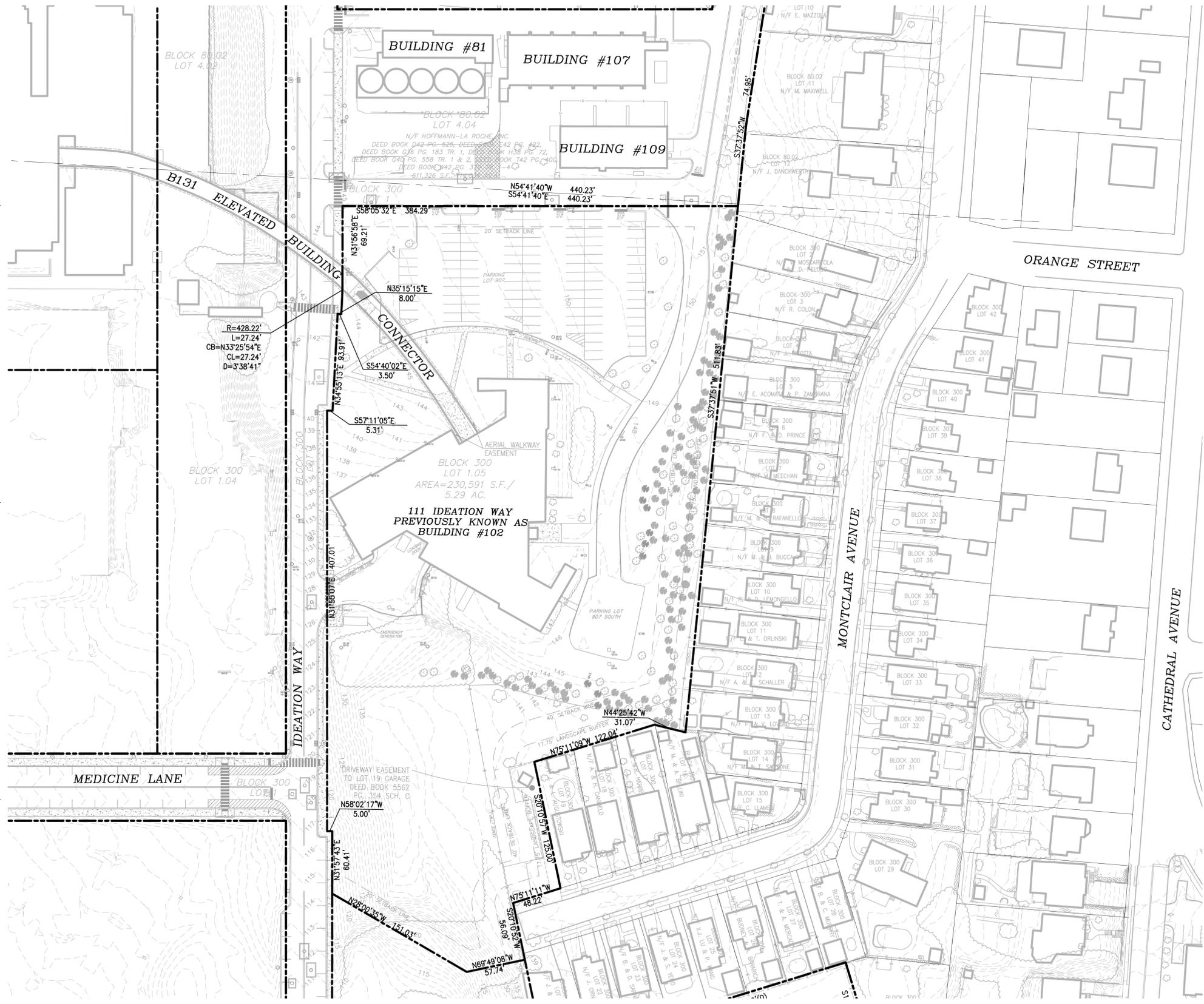
400' PROPERTY LINE OFFSET 2
 SCALE: 1"=200' 1.1

LEGEND:

	PROJECT PROPERTY BOUNDARY LINE
	ESSEX COUNTY/PASSAIC COUNTY BOUNDARY LINE
	ADJACENT PROPERTY LINE
	SETBACK LINE
	EASEMENT LINE
	EXISTING CURB
	EXISTING EDGE OF PAVEMENT
	EXISTING EDGE OF CONCRETE
	EXISTING WALL
	EXISTING FENCE
	EXISTING GUIDERAIL
	EXISTING TREE LINE
	EXISTING STORM LINE
	EXISTING STORM INLET
	EXISTING STORM MANHOLE
	EXISTING SIGN
	EXISTING TREE
	EXISTING SITE LIGHTING FIXTURE

REFERENCES

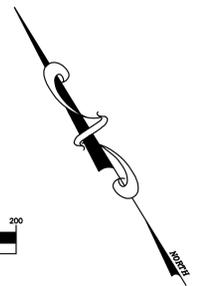
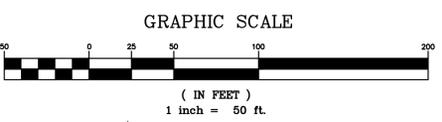
- EXISTING TOPOGRAPHIC SURVEY BASED ON PLAN ENTITLED "340 KINGSLAND STREET" PREPARED BY KELLER & KIRKPATRICK INC., DATED 02/06/2017.
- ROADWAY IMPROVEMENTS BASED ON PLAN ENTITLED "ROADWAY DESIGN FOR SETON HALL-HACKENSACK MERIDIAN SCHOOL OF MEDICINE", PREPARED BY GREENBERGFARROW, DATED 01/03/2017, LAST REVISED 05/04/2018.
- EXISTING BOUNDARY INFORMATION IS BASED OFF PREVIOUSLY APPROVED SUBDIVISION PREPARED FOR LOTS 1.05 & 1.06, BLOCK 300 ENTITLED, "PRELIMINARY & FINAL MAJOR SUBDIVISION, TOWNSHIP OF NUTLEY, ESSEX COUNTY, NEW JERSEY" DATED DECEMBER 20, 2018 AS PREPARED BY PS&S. THE PLAT WAS RECORDED ON DECEMBER 18, 2019 AND IS IDENTIFIED AS MAP #4711.



EXISTING SITE LAYOUT AT 111 IDEATION WAY

SCALE: 1"=50'

1
1.1



p:\2016\201617110\800_civil_current_drawings\111_ideation_way_parking_lot_current_drawings\201617110_1.0 - 1.3_cor.dwg



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ISSUE/REVISION RECORD

DATE	DESCRIPTION
07/07/2020	BID SET
07/21/2020	PLANNING BOARD SUBMISSION

PROFESSIONAL SEAL



PROFESSIONAL IN CHARGE
STEPHEN POWERS
PROFESSIONAL ENGINEER
LICENSE NO. 246E047731002

PROJECT MANAGER
RICHARD PROCANIK

QUALITY CONTROL
RICHARD PROCANIK

DRAWN BY
THOMAS WIENCKOWSKI

PROJECT NAME
111 IDEATION WAY PARKING LOT

NUTLEY NEW JERSEY

EXISTING BLOCK 300 LOT 1 & 1.05
PROPOSED LOT 1.05A
TOWNSHIP OF NUTLEY
ESSEX COUNTY, NJ
ZONING DISTRICT: RRP-2A
ROCHE REDEVELOPMENT PLAN PHASE 1A

PROJECT NUMBER
20161711.0

SHEET TITLE

SITE DEMOLITION PLAN

SHEET NUMBER

1.2

LEGEND

- PROPERTY LINE
- - - PAVEMENT SAWCUT LINE
- EXISTING CURB TO REMAIN
- EXISTING WALL TO REMAIN
- EXISTING FENCE TO REMAIN
- EXISTING CURB TO BE REMOVED
- EXISTING FENCE TO BE REMOVED
- EXISTING CONCRETE TO BE REMOVED
- AREA OF MILL AND OVERLAY
- ⊙ EXISTING TREE TO REMAIN
- ⊙ EXISTING SITE LIGHTING FIXTURE TO BE RELOCATED
- ⊙ EXISTING SIGN TO BE REMOVED
- ⊙ EXISTING TREE TO BE REMOVED (TOTAL 18 TREES TO BE REMOVED)

SITE DEMOLITION NOTES

- ANY DEMOLITION IS TO BE PERFORMED IN STRICT CONFORMANCE WITH ALL APPLICABLE CITY, COUNTY AND STATE, AND/OR GOVERNING BODY'S STANDARDS.
- THE DEMOLITION PLAN SHALL BE DONE IN CONJUNCTION WITH THE GEOTECHNICAL INVESTIGATION REPORT.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES DURING DEMOLITION.
- THE PURPOSE OF THIS DRAWING IS TO CONVEY THE OVERALL SCOPE OF WORK AND IT IS NOT INTENDED TO COVER ALL DETAILS OR SPECIFICATIONS REQUIRED TO COMPLY WITH GENERALLY ACCEPTED DEMOLITION PRACTICES. CONTRACTOR SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH THE SITE, SCOPE OF WORK, AND ALL EXISTING CONDITIONS AT THE JOB SITE PRIOR TO BIDDING AND COMMENCING THE WORK. THE DEMOLITION CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, OR PROCEDURES USED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS AND IS LIABLE FOR THE SAFETY OF THE PUBLIC OR CONTRACTOR'S EMPLOYEES DURING THE COURSE OF THE PROJECT.
- THE DEMOLITION PLAN IS INTENDED TO SHOW REMOVAL OF KNOWN SITE FEATURES AND UTILITIES AS SHOWN ON THE SURVEY. THERE MAY BE OTHER SITE FEATURES, UTILITIES, STRUCTURES, AND MISCELLANEOUS ITEMS BOTH BURIED AND ABOVE GROUND THAT ARE WITHIN THE LIMITS OF WORK THAT MAY NEED TO BE REMOVED FOR THE PROPOSED PROJECT THAT ARE NOT SHOWN HEREON. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF SUCH ITEMS AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL CONTACT RESPECTIVE UTILITY COMPANIES PRIOR TO DEMOLITION TO COORDINATE DISCONNECTION AND REMOVAL OF EXISTING UTILITIES WITHIN THE AREA OF WORK.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES THAT ARE INTENDED TO CONTINUE TO PROVIDE SERVICE WHETHER THESE UTILITIES ARE SHOWN ON THE PLAN OR NOT.
- UPON DISCOVERY OF ANY UNDERGROUND TANKS, CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE. NO REMOVAL OF TANKS SHALL OCCUR UNTIL AUTHORIZED BY OWNER.
- BUILDING AND APPURTENANCES DESIGNATED FOR DEMOLITION SHALL NOT BE DISTURBED BY THE CONTRACTOR UNTIL HE HAS BEEN FURNISHED WITH NOTICE TO PROCEED BY THE OWNERS. AS SOON AS SUCH NOTICE HAS BEEN GIVEN, THE CONTRACTOR SHALL PERFORM THE DEMOLITION, UNDER THE DIRECTION OF THE OWNER'S REPRESENTATIVE.
- DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL UNSUITABLE MATERIAL AND DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSAL IN ACCORDANCE WITH ALL CITY, STATE, AND FEDERAL LAWS AND ORDINANCES.
- ALL MATERIAL, EXCEPT THAT BELONGING TO A PUBLIC UTILITY COMPANY OR DENOTED FOR SALVAGE, SHALL BECOME PROPERTY OF THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY THE OWNER OF WATER, ELECTRIC, OR GAS METER WHEN THE METERS ARE READY FOR REMOVAL, AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISCONNECTING ALL UTILITIES IN COMPLIANCE WITH LOCAL REQUIREMENTS. DISCONNECT TRANSFORMERS AS REQUIRED FOR BUILDING DEMOLITIONS.
- AS SOON AS DEMOLITION WORK HAS BEEN COMPLETED, THE FINAL GRADE OF BACKFILL IN DEMOLITION AREAS SHALL BE COMPACTED PER THE GEOTECHNICAL REPORT TO PRESENT A NEAT, WELL DRAINED APPEARANCE, AND TO PREVENT WATER FROM DRAINING UNNECESSARILY ONTO ADJACENT PROPERTIES. CONTRACTOR SHALL GRADE SITE TOWARD EXISTING STORM DRAINAGE SYSTEM TO REMAIN ON SITE.
- EXISTING TREES TO REMAIN SHOULD BE PROTECTED FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION.
- THE CONTRACTOR IS TO COORDINATE WORK IN THE PROJECT TO ENSURE ACCESS TO ADJACENT PROPERTIES AT ALL TIMES.
- THE USE OF EXPLOSIVES SHALL NOT BE PERMITTED.
- CONTRACTOR TO IMPLEMENT APPROPRIATE TRAFFIC CONTROL MEASURES PER LOCAL CODE.

SITE DEMOLITION KEY NOTES

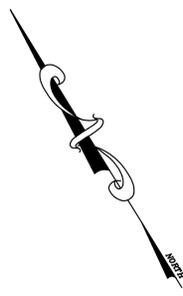
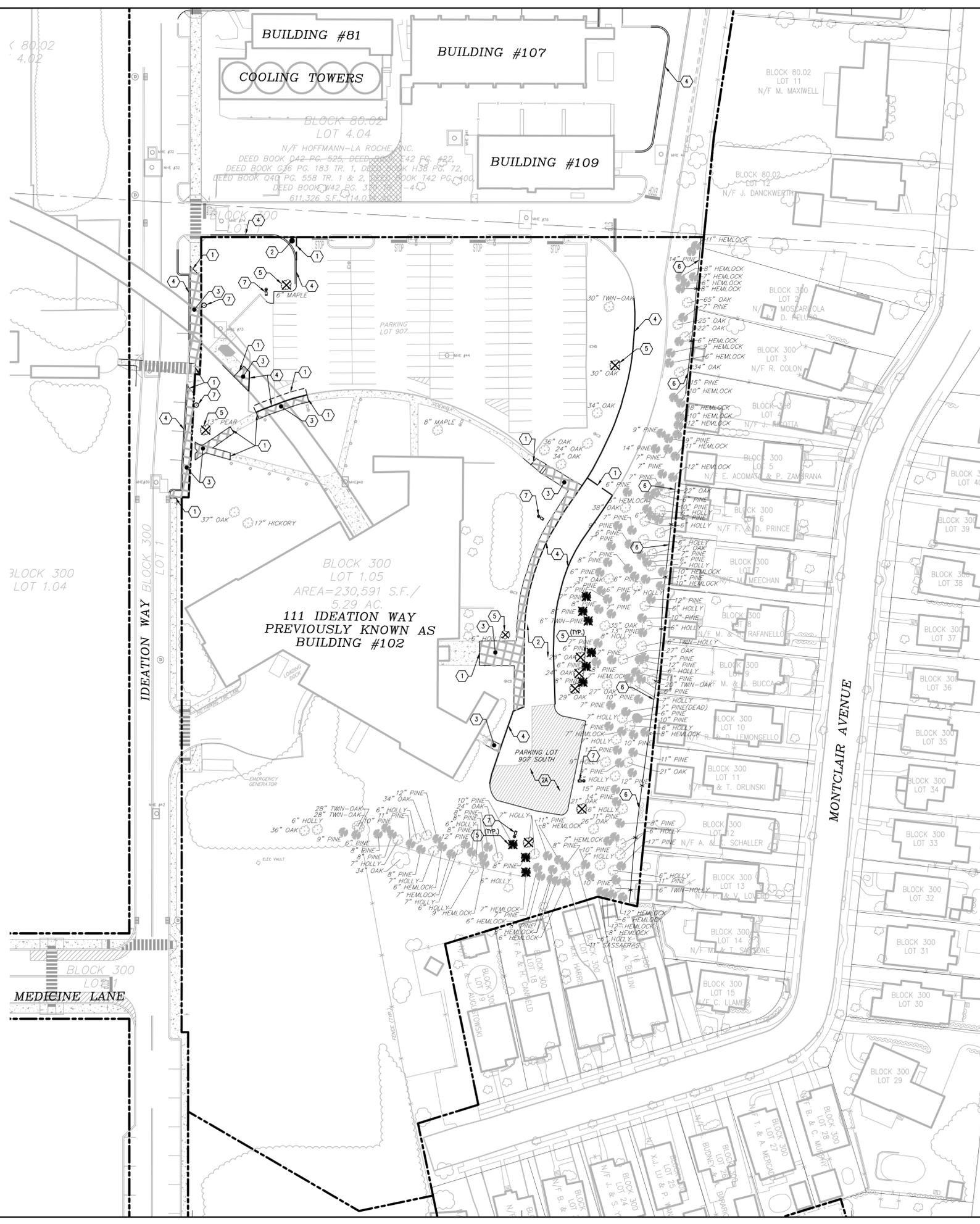
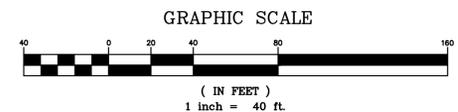
- SAWCUT EXISTING ASPHALT AND/OR CONCRETE PAVEMENT.
- REMOVE EXISTING ASPHALT PAVEMENT.
- MILL AND OVERLAY EXISTING ASPHALT PAVEMENT.
- REMOVE EXISTING CONCRETE PAVEMENT.
- REMOVE EXISTING CURB.
- REMOVE OR TRIM EXISTING TREE AND VEGETATED AREAS. (TOTAL 18 TREES TO BE REMOVED)
- REMOVE EXISTING FENCE
- RELOCATE EXISTING LIGHT FIXTURE
- REMOVE EXISTING SIGN

REFERENCES

- EXISTING TOPOGRAPHIC SURVEY BASED ON PLAN ENTITLED "340 KINGSLAND STREET" PREPARED BY KELLER & KIRKPATRICK INC., DATED 02/06/2017.
- ROADWAY IMPROVEMENTS BASED ON PLAN ENTITLED "ROADWAY DESIGN FOR SETON HALL-HACKENSACK MERIDIAN SCHOOL OF MEDICINE", PREPARED BY GREENBERGFARROW, DATED 01/03/2017, LAST REVISED 05/04/2018.
- EXISTING BOUNDARY INFORMATION IS BASED OFF PREVIOUSLY APPROVED SUBDIVISION PREPARED FOR LOTS 1.05 & 1.06, BLOCK 300 ENTITLED, "PRELIMINARY & FINAL MAJOR SUBDIVISION, TOWNSHIP OF NUTLEY, ESSEX COUNTY NEW JERSEY" DATED DECEMBER 20, 2018 AS PREPARED BY PS&S. THE PLAN WAS RECORDED ON DECEMBER 18, 2019 AND IS IDENTIFIED AS MAP #4711.

TREE REMOVAL WITHIN BLOCK 300 - LOT 1.05

QUANTITY	SPECIES	SIZE
1	HEMLOCK	7"
1	HOLLY	6"
1	HOLLY	7"
1	MAPLE	6"
1	OAK	21"
1	OAK	24"
1	OAK	28"
1	OAK	29"
1	OAK	30"
1	PEAR	13"
2	PINE	6"
1	PINE	7"
3	PINE	8"
1	PINE	10"
1	TWIN-PINE	6"



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PROFESSIONAL SEAL



PROFESSIONAL IN CHARGE
STEPHEN POWERS
PROFESSIONAL ENGINEER
LICENSE NO. 24GE04773100

PROJECT MANAGER
RICHARD PROCANIK

QUALITY CONTROL
RICHARD PROCANIK

DRAWN BY
THOMAS WIENCKOWSKI

PROJECT NAME
**111 IDEATION WAY
PARKING LOT**

**NUTLEY
NEW JERSEY**

EXISTING BLOCK 300 LOT 1 & 1.05
PROPOSED LOT 1.05A
TOWNSHIP OF NUTLEY
ESSEX COUNTY, NJ
ZONING DISTRICT: RRP-2A
ROCHE
REDEVELOPMENT
PLAN PHASE IIA

PROJECT NUMBER
20161711.0

SHEET TITLE

**UTILITY
DEMOLITION
PLAN**

SHEET NUMBER

1.3

LEGEND

- PROPERTY LINE
- STM → — EXISTING STORM LINE TO REMAIN
- SAN → — EXISTING SANITARY LINE TO REMAIN
- 10" W — EXISTING 10" WATER MAIN TO REMAIN
- DOM — EXISTING DOMESTIC WATER LINE TO REMAIN
- FIRE — EXISTING FIRE WATER LINE TO REMAIN
- W — EXISTING CHILLED WATER LINE TO REMAIN
- GAS — EXISTING GAS LINE TO REMAIN
- E — EXISTING ELECTRIC LINE TO REMAIN
- T — EXISTING TELEPHONE LINE TO REMAIN
- — EXISTING UTILITY & STRUCTURE TO REMAIN
- MHP □ — EXISTING STORM STRUCTURE TO REMAIN
- MHP □ — EXISTING SANITARY MANHOLE TO REMAIN
- — EXISTING LIGHT STRUCTURE TO REMAIN
- STM → — EXISTING STORM LINE TO BE REMOVED
- E — EXISTING ELECTRIC LINE TO BE REMOVED
- — EXISTING LIGHT STRUCTURE TO BE RELOCATED
- — EXISTING STORM STRUCTURE TO BE REMOVED

UTILITY DEMOLITION NOTES

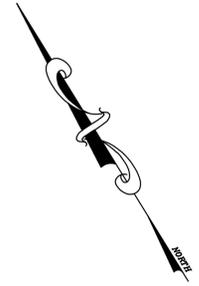
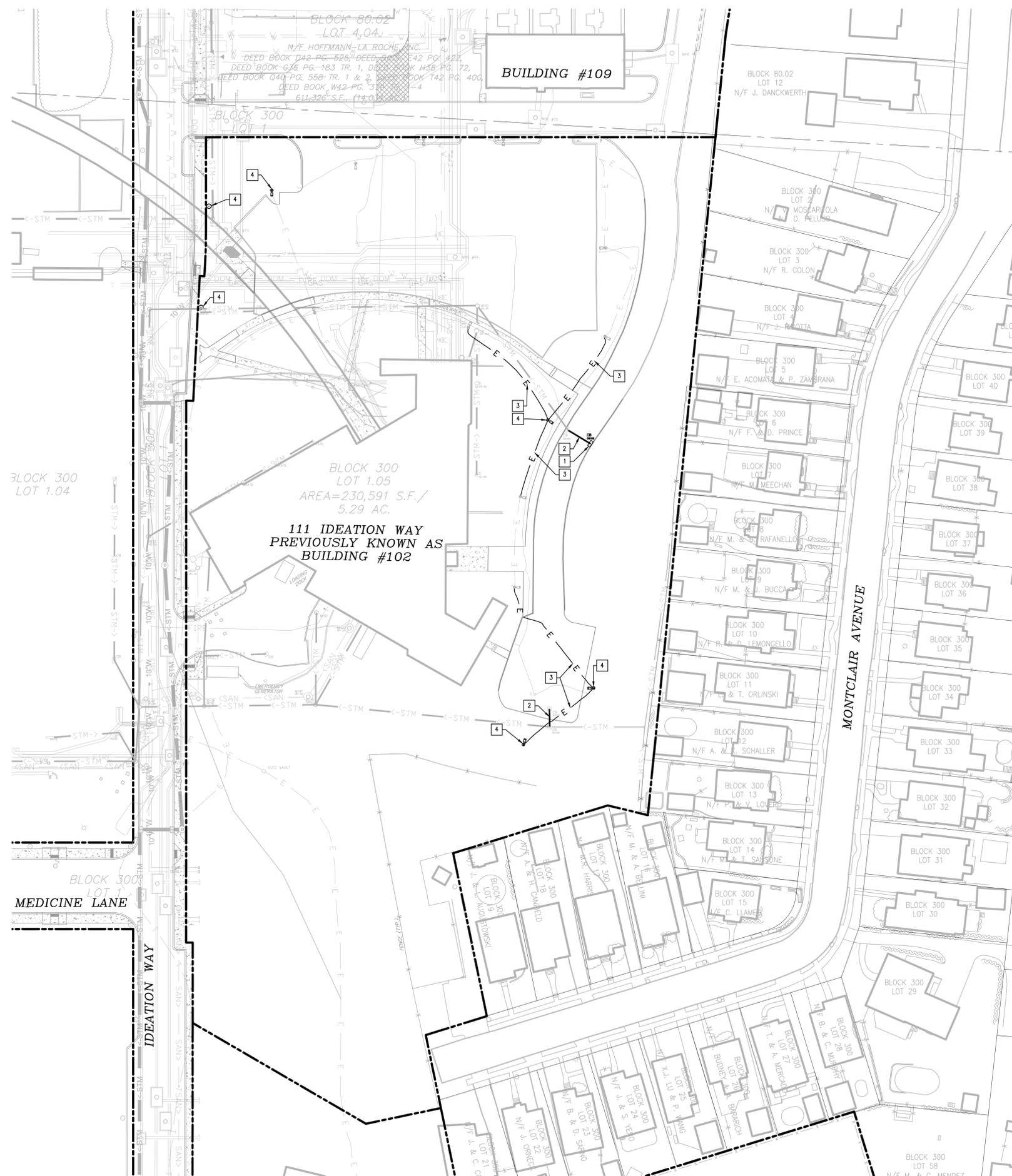
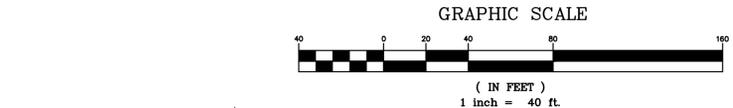
- CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH THE AFFECTED PROPERTY OWNERS.
- CONSTRUCTION SHALL NOT START ON ANY PUBLIC OR PRIVATE UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY OR UTILITY COMPANY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER TO PROCEED.
- PRIOR TO THE CONSTRUCTION OF OR CONSTRUCTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OTHER UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM GREENBERGFARROW ENGINEERS AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF (72) HOURS PRIOR TO CONSTRUCTION. ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
- CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE A SUPPORT SYSTEM, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA AS REQUIRED BY OSHA.
- PRIOR TO ABANDONMENT OF ANY PIPE, IT IS REQUIRED TO BE CUT, FILLED WITH FLOWABLE CONCRETE AND CAPPED IN A MANNER ACCEPTABLE TO ALL JURISDICTIONAL AUTHORITIES.
- CONTRACTOR TO NOTIFY THE MUNICIPAL ENGINEER AND ENGINEER OF RECORD 48 HOURS PRIOR TO ANY TEST PITS OR TELEVISIONING OF SEWER LINES.

UTILITY DEMOLITION KEY NOTES

- REMOVE EXISTING STORM DRAINAGE STRUCTURE
- REMOVE EXISTING STORM DRAINAGE PIPE
- REMOVE/RELOCATE EXISTING SITE LIGHTING ELECTRICAL LINES
- RELOCATE/ROTATE EXISTING LIGHT STRUCTURE

REFERENCES

- EXISTING TOPOGRAPHIC SURVEY BASED ON PLAN ENTITLED "340 KINGSLAND STREET" PREPARED BY KELLER & KIRKPATRICK INC., DATED 02/06/2017.
- ROADWAY IMPROVEMENTS BASED ON PLAN ENTITLED "ROADWAY DESIGN FOR SETON HALL-HACKENSACK MERIDIAN SCHOOL OF MEDICINE", PREPARED BY GREENBERGFARROW, DATED 01/03/2017, LAST REVISED 05/04/2018.
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PROFESSIONAL IN CHARGE
STEPHEN POWERS
PROFESSIONAL ENGINEER
LICENSE NO. 24GE04773100

PROJECT MANAGER
RICHARD PROCANIK

QUALITY CONTROL
RICHARD PROCANIK

DRAWN BY
THOMAS WIENCKOWSKI

PROJECT NAME
111 IDEATION WAY PARKING LOT

NUTLEY NEW JERSEY

EXISTING BLOCK 300 LOT 1 & 1.05
PROPOSED LOT 1.05A
TOWNSHIP OF NUTLEY
ESSEX COUNTY, NJ
ZONING DISTRICT: RRP-2A
ROCHE REDEVELOPMENT
PLAN PHASE 1A

PROJECT NUMBER
20161711.0

SHEET TITLE
LAYOUT PLAN

LAYOUT PLAN

SHEET NUMBER
2.0

LEGEND

	PROPERTY LINE		PROPOSED CURB
	SETBACK LINE		PROPOSED FENCE
	EASEMENT LINE		PROPOSED CONCRETE SIDEWALK
	EXISTING CURB		PROPOSED ADA ACCESSIBLE PARKING
	EXISTING WALL		PROPOSED STRIPING
	EXISTING FENCE		NUMBER OF PARKING SPACES
	EXISTING GUIDE RAIL		PROPOSED SIGN
	EXISTING TREE		PROPOSED/RELOCATED SITE LIGHTING FIXTURE
	EXISTING TREE LINE		PROPOSED STORM DRAINAGE TYPE 'A' INLET STRUCTURE

SITE LAYOUT KEY NOTES

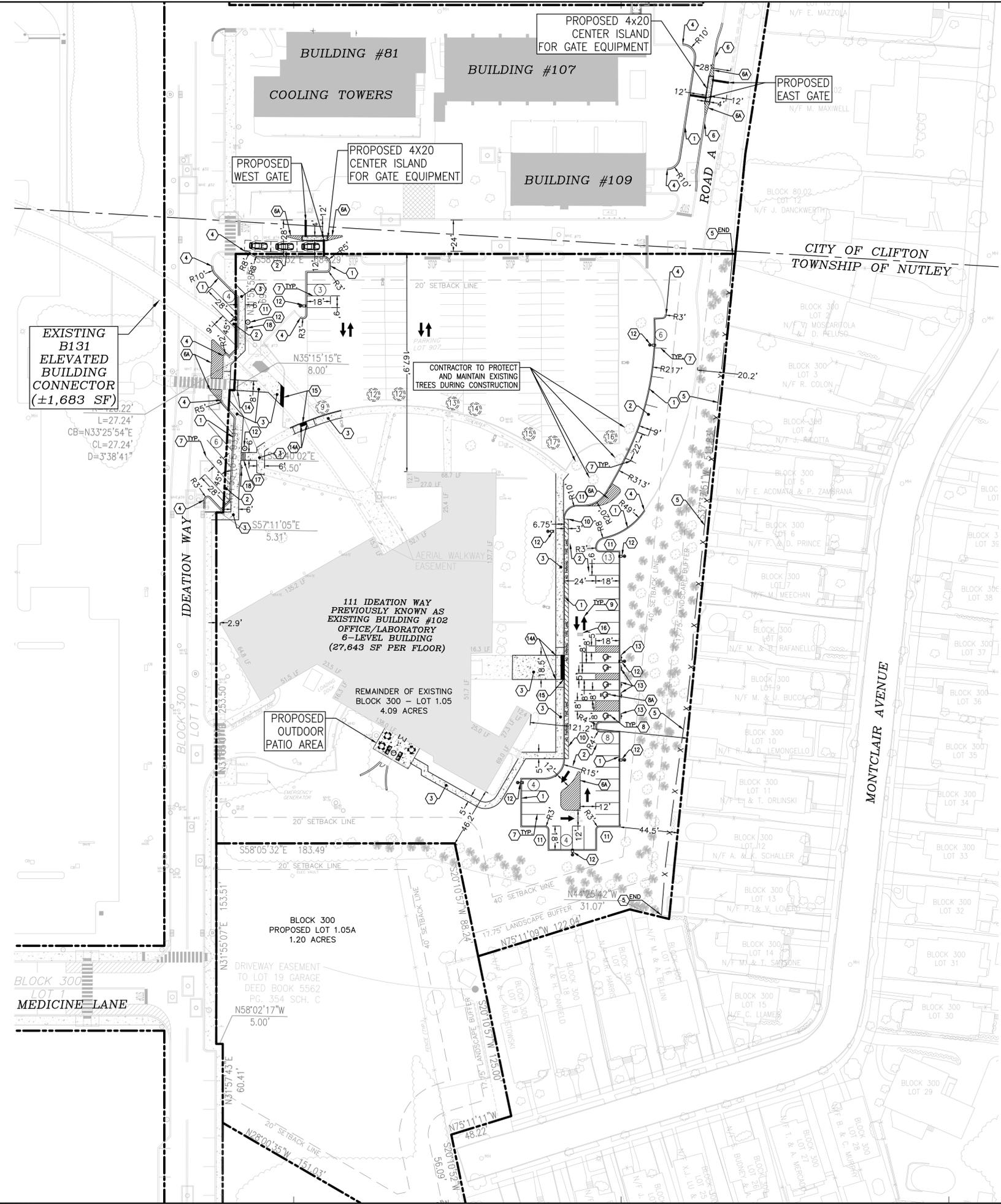
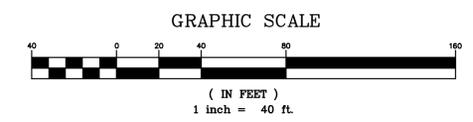
- PROPOSED CONCRETE CURB
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CURB TIE-IN LOCATION. CONNECTION TO BE SMOOTH AND EVEN
- PROPOSED 6' HIGH FENCE
- PROPOSED PAVEMENT MARKING - SOLID DOUBLE 4" YELLOW STRIPE
- PROPOSED PAVEMENT MARKING - PARKING SPACE
- PROPOSED PAVEMENT MARKING - ADA ACCESSIBLE PARKING SPACE
- PROPOSED PAVEMENT MARKING - ADA VAN ACCESSIBLE PARKING SPACE
- PROPOSED PAVEMENT MARKING - DIRECTIONAL ARROWS
- PROPOSED PAVEMENT MARKING - NO PARKING - FIRE LANE
- PROPOSED LANDSCAPE AREA
- PROPOSED/RELOCATED SITE LIGHTING FIXTURE
- PROPOSED ADA PARKING SIGN
- PROPOSED NJDOT TYPE 5 ADA SIDEWALK RAMP
- PROPOSED NJDOT TYPE 7 ADA SIDEWALK RAMP
- PROPOSED FLUSH CURB
- PROPOSED STORM DRAINAGE TYPE 'A' INLET STRUCTURE
- PROPOSED (4) STAIRS WITH 6" RISERS
- PROPOSED "RESERVED PARKING FOR 111 IDEATION WAY" SIGN

SITE LAYOUT NOTES

- CONTRACTOR MUST SECURE ALL NECESSARY PERMITS PRIOR TO STARTING WORK.
- IF THE CONTRACTOR IN THE COURSE OF THE WORK, FINDS ANY DISCREPANCIES BETWEEN THE PLANS AND THE PHYSICAL CONDITIONS OF THE LOCALITY, OR ANY ERRORS OR OMISSIONS IN THE PLANS OR IN THE LAYOUT THE ENGINEER SHALL BE NOTIFIED IN WRITING AND THE ENGINEER WILL PROMPTLY VERIFY THE SAME. ANY WORK DONE AFTER SUCH A DISCOVERY, UNTIL AUTHORIZED, WILL BE AT THE CONTRACTOR'S RISK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS, AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE STATE AND LOCAL GOVERNMENT AGENCY'S LATEST CONSTRUCTION SPECIFICATIONS AND DETAILS.
- ALL ACCESSIBLE (ADA) SITE FEATURES SHALL BE CONSTRUCTED TO MEET ALL FEDERAL, STATE, AND LOCAL GUIDELINES.
- THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCHMARKS, REFERENCE POINTS AND STAKES.
- ALL DIMENSIONS ARE MEASURED FROM FACE OF BUILDING, CURB, AND WALL UNLESS OTHERWISE SPECIFIED ON PLANS.
- CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
- CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEMS AND/OR MATERIAL INSIDE OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATIONS.
- ALL ROADWORK SHALL BE PERFORMED IN ACCORDANCE WITH THE STATE AND LOCAL GOVERNMENT AGENCY SPECIFICATIONS.
- NO HAZARDOUS WASTE GENERATED OFF-SITE MAY BE STORED ON THE SUBJECT SITE FOR ANY PERIOD OF TIME IN ACCORDANCE WITH SECTION 6.3(0)3 OF THE REDEVELOPMENT PLAN.
- CONTRACTOR TO REPLACE ANY CURBS, SIDEWALKS, LANDSCAPING, ETC. THAT IS DISTURBED DURING CONSTRUCTION OUTSIDE LIMITS OF DISTURBANCE.

PARKING CALCULATION

111 IDEATION WAY	
EXISTING PARKING SPACES	120 STALLS
PROPOSED STANDARD PARKING SPACES	135 STALLS
PROPOSED PARALLEL PARKING SPACES	6 STALLS
PROPOSED ADA STANDARD ACCESSIBLE PARKING SPACES	4 STALLS
PROPOSED ADA VAN ACCESSIBLE PARKING SPACES	1 STALLS
TOTAL PROPOSED PARKING SPACES	146 STALLS
NET INCREASE OF 26 PARKING SPACES	
IDEATION WAY STREET PARKING	
EXISTING PARALLEL PARKING SPACES	7 STALLS
PROPOSED ANGLED PARKING SPACES	10 STALLS
NET INCREASE OF 3 PARKING SPACES	
OVERALL NET INCREASE OF 29 PARKING SPACES	



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PROFESSIONAL SEAL



PROFESSIONAL IN CHARGE
STEPHEN POWERS
PROFESSIONAL ENGINEER
LICENSE NO. 24GE04773100

PROJECT MANAGER
RICHARD PROCANIK

QUALITY CONTROL
RICHARD PROCANIK

DRAWN BY
THOMAS WIENCKOWSKI

PROJECT NAME

**111 IDEATION WAY
PARKING LOT**

**NUTLEY
NEW JERSEY**

EXISTING BLOCK 300 LOT 1 & 1.05
PROPOSED LOT 1.05A
TOWNSHIP OF NUTLEY
ESSEX COUNTY, NJ
ZONING DISTRICT: RRP-2A
ROCHE REDEVELOPMENT
PLAN PHASE 1A

PROJECT NUMBER
20161711.0

SHEET TITLE
**GRADING AND
DRAINAGE PLAN**

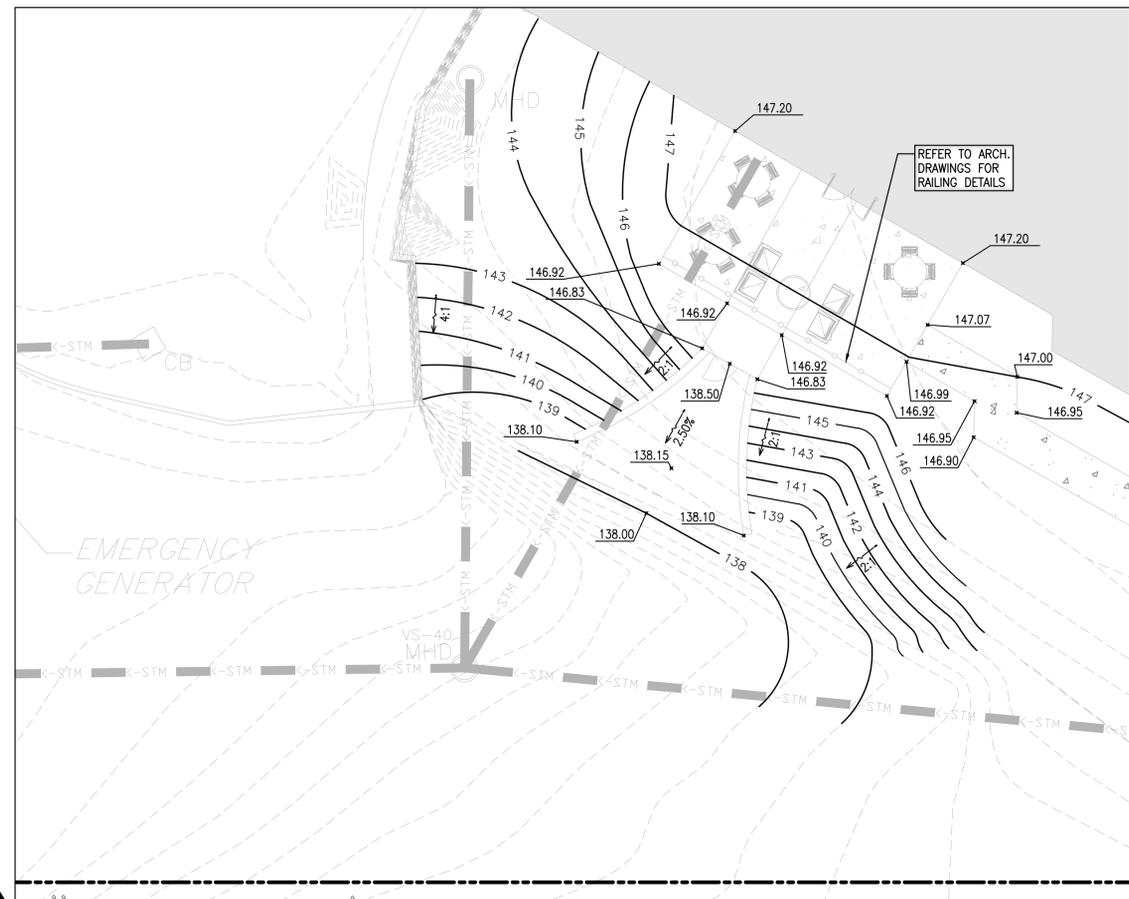
SHEET NUMBER
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LEGEND

	PROPERTY LINE		EXISTING STORM MANHOLE TO REMAIN
	EXISTING 5' ELEVATION CONTOUR		EXISTING STORM CATCH BASIN TO REMAIN
	EXISTING 1' ELEVATION CONTOUR		PROPOSED STORM DRAINAGE "TYPE A" INLET STRUCTURE
	EXISTING CURB		PROPOSED SLOPE ARROW
	EXISTING WALL		PROPOSED SPOT ELEVATION:
	EXISTING FENCE	G = GROUND	
	EXISTING GUIDE RAIL	TC = TOP OF CURB	
	EXISTING STORM LINE	LP = LOW POINT	
	PROPOSED CURB	EX = EXISTING	
	PROPOSED CONCRETE SIDEWALK	GRT = GRATE	
	PROPOSED 5' ELEVATION CONTOUR		
	PROPOSED 1' ELEVATION CONTOUR		
	PROPOSED STORM LINE		
	AREA OF MILL AND OVERLAY		

SITE GRADING NOTES

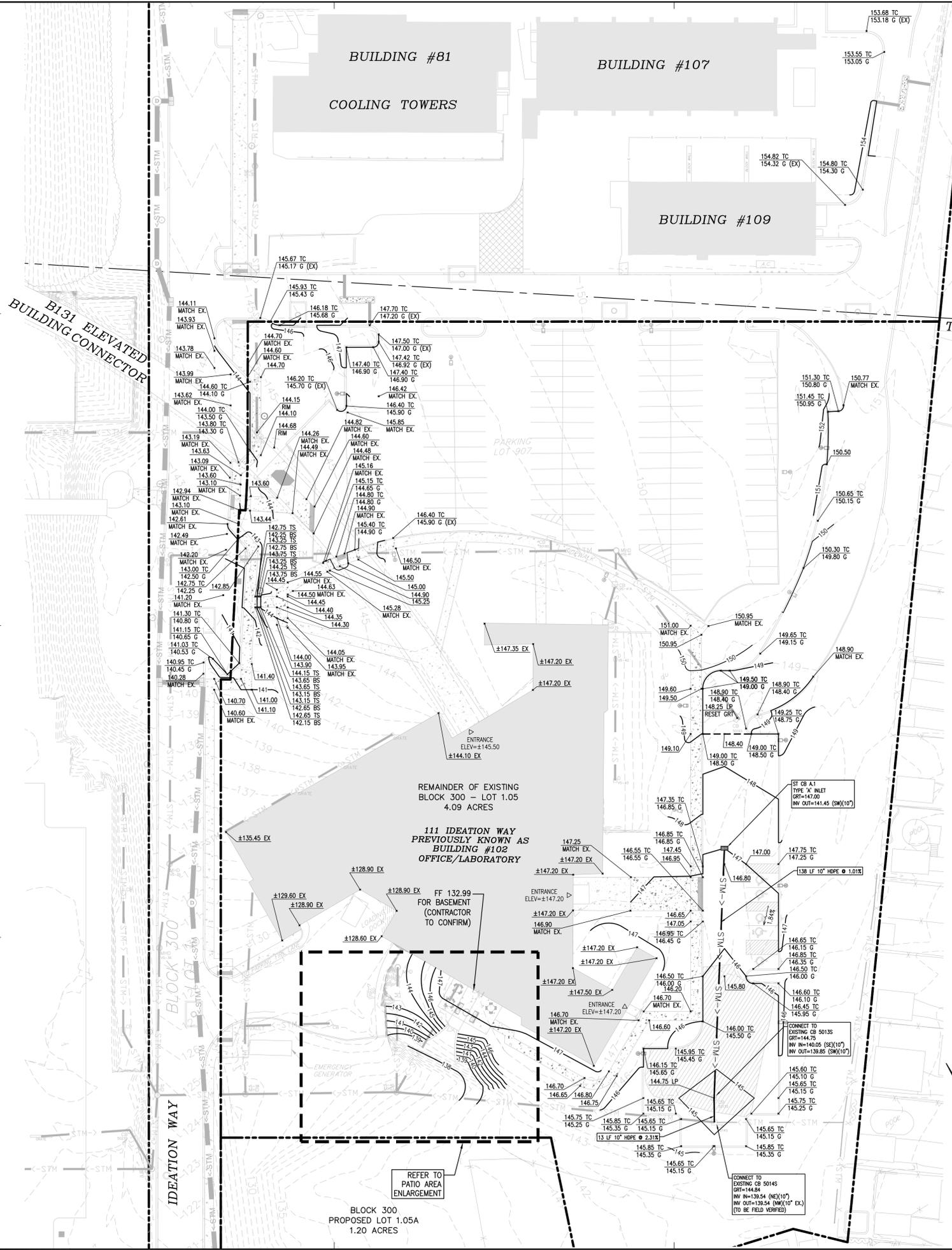
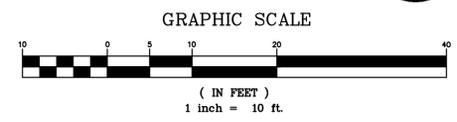
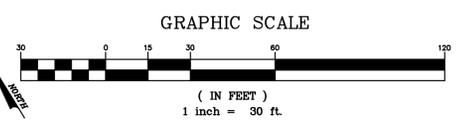
- ALL GRADING AND SITE PREPARATION SHALL CONFORM WITH SPECIFICATIONS CONTAINED IN THE GEOTECHNICAL REPORT.
- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE CITY'S LATEST CONSTRUCTION SPECIFICATIONS AND DETAILS.
- PRIOR TO ANY EXCAVATION OF THE PROJECT SITE, THE CONTRACTOR SHALL NOTIFY THE CITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCHMARKS, REFERENCE POINTS AND STAKES.
- ALL INDICATED ELEVATIONS ARE FINISHED ELEVATIONS.
- FIELD VERIFY LOCATIONS, SIZES AND IF APPLICABLE INVERTS OF EXISTING UTILITIES FOR PROPOSED CONNECTIONS PRIOR TO CONSTRUCTION.
- LOCATE AND PROTECT ALL UTILITIES ASSOCIATED WITH THE PROJECT PRIOR TO CONSTRUCTION.
- INSTALL SOIL EROSION CONTROL MEASURES BEFORE BEGINNING SITE WORK. THESE MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- MAINTAIN PROPER SITE DRAINAGE AT ALL TIMES DURING CONSTRUCTION. PREVENT STORM WATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREAS.
- INSTALL ALL APPROPRIATE TREE PROTECTION MEASURES PRIOR TO GRADING.
- ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
- ALL EXCAVATION SHALL INCLUDE CLEARING, STRIPPING AND STOCKPILING TOPSOIL, REMOVING UNSUITABLE MATERIALS, CONSTRUCTION FILLS, AND THE FINAL SHAPING AND TRIMMING TO THE LINES AND GRADES SHOWN ON THE PLANS.
- STRIP AND STOCKPILE TOPSOIL, SPREAD FOUR (4) INCHES MINIMUM OF TOPSOIL ON LANDSCAPE AREAS AND REMOVE EXCESS TOPSOIL FROM SITE. PREPARE SUB-GRADE FOR PAVEMENT AND CURBS AND BACKFILL CURBS AFTER CURB CONSTRUCTION.
- PROVIDE AND INSTALL TOPSOIL IN DISTURBED AREAS THAT ARE PROPOSED LANDSCAPE AREAS.
- THE PAVEMENT SUBGRADE AND BASE COURSE MATERIAL SHALL BE INSPECTED AND APPROVED BY THE ENGINEER OR OWNER REPRESENTATIVE PRIOR TO CONSTRUCTION OF THE BASE AND SURFACE COURSES THEREON.
- CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE TO ALL INLETS AND CATCH BASINS.
- IF AREAS ARE DISTURBED BEYOND PROPOSED GRADES BY NEGLIGENCE OF THE CONTRACTOR, THE CONTRACTOR SHALL BE HELD RESPONSIBLE. FOR ANY REGRADING OR REPAIR TO MATCH ORIGINAL EXISTING CONDITIONS.
- ALL STORM INLETS ARE TYPE B INLET STRUCTURES WITH TYPE N-ECO CURB PIECES, UNLESS INDICATED OTHERWISE ON THE PLAN.



PATIO AREA ENLARGEMENT

SCALE: 1"=10'

1
3.0



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PROFESSIONAL ENGINEER
LICENSE NO. 24GE04773100

PROJECT MANAGER
RICHARD PROCANIK

QUALITY CONTROL
RICHARD PROCANIK

DRAWN BY
THOMAS WIENCKOWSKI

PROJECT NAME
**111 IDEATION WAY
PARKING LOT**

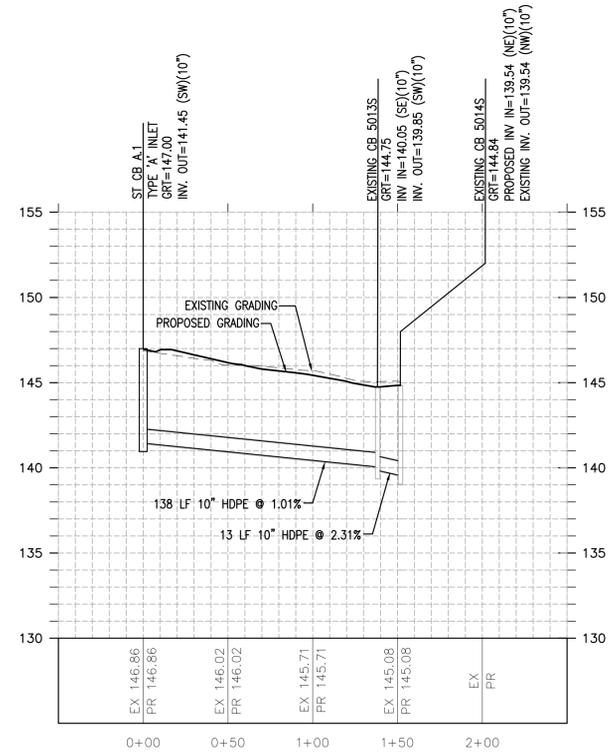
**NUTLEY
NEW JERSEY**

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PROPOSED LOT 1.05A
TOWNSHIP OF NUTLEY
ESSEX COUNTY, NJ
ZONING DISTRICT: RRP-2A
ROCHE
REDEVELOPMENT
PLAN PHASE IIA

PROJECT NUMBER
20161711.0

SHEET TITLE
**STORM DRAINAGE
PROFILES**

SHEET NUMBER
3.1



ST CB A.1 TO EXISTING CB 5014S

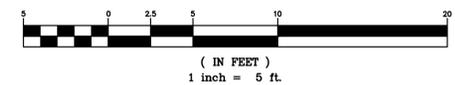
SCALE: HORIZONTAL: 1" = 50' VERTICAL: 1" = 5'

1
3.1

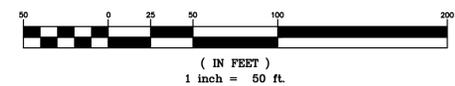
LEGEND:

--- EXISTING GRADING
— PROPOSED GRADING

VERTICAL GRAPHIC SCALE



HORIZONTAL GRAPHIC SCALE





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SHEET TITLE
**UTILITY
PLAN**

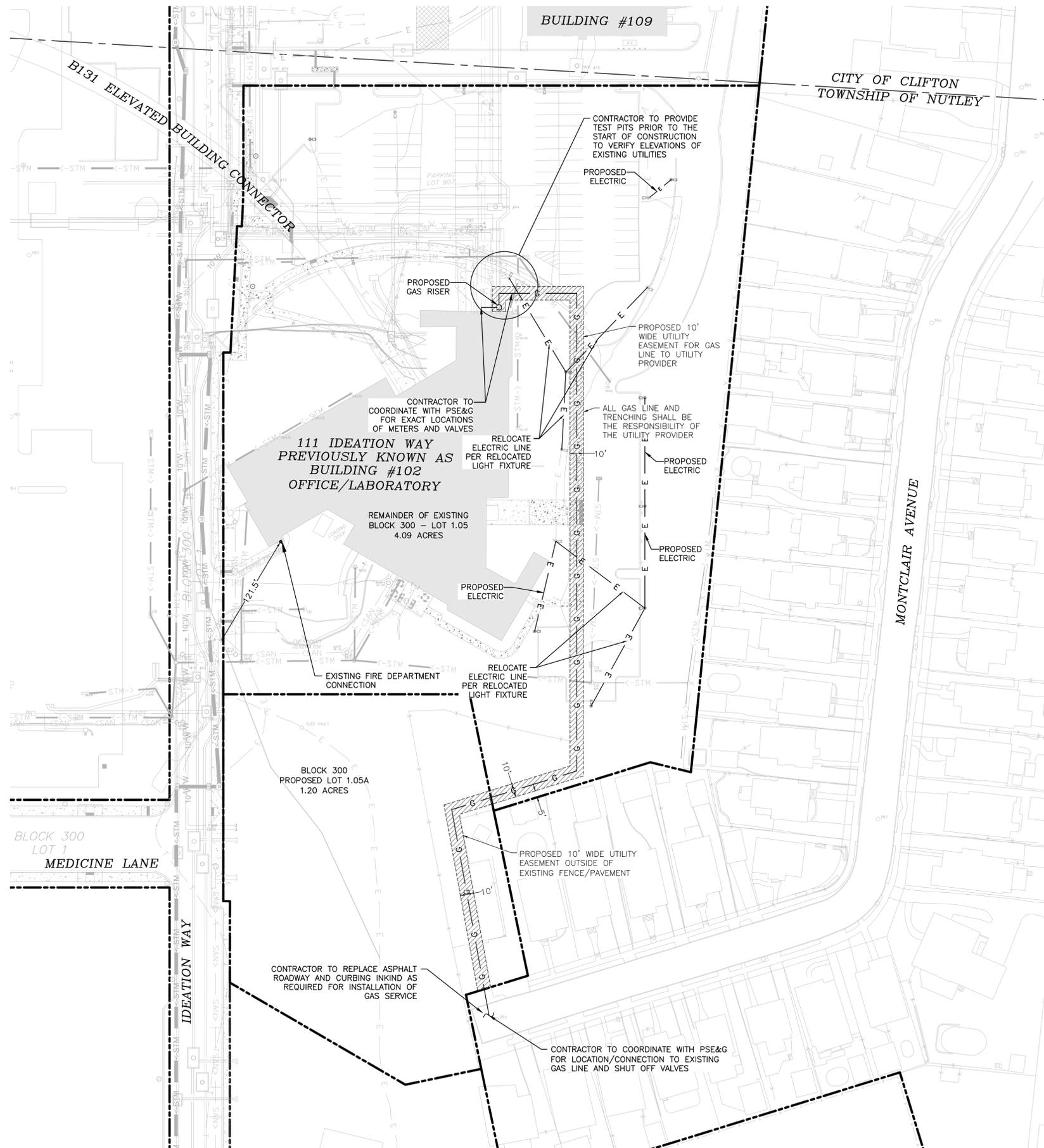
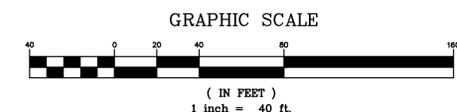
SHEET NUMBER
4.0

GENERAL GAS UTILITY NOTES

1. CONTRACTOR IS TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND ENSURE NO CONFLICTS EXIST WITH PROPOSED IMPROVEMENTS. THE ENGINEER IS TO BE NOTIFIED IMMEDIATELY IF ANY UTILITIES ARE LOCATED DIFFERENTLY THAN SHOWN. THE CONTRACTOR SHALL COORDINATE WITH EACH RESPECTIVE UTILITY COMPANY IN ORDER TO RELOCATE IF NEEDED CONFORMANCE WITH THEIR GUIDELINES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING, PRIOR TO CONSTRUCTION, ALL EXISTING LOCATIONS AND INVERT ELEVATIONS OF SANITARY SEWERS, STORM DRAINAGE, WATER MAINS, ELECTRICAL CONDUITS AND BUILDING UTILITIES WITHIN THE PATH OF THE PROPOSED GAS LINE.
3. THE CONTRACTOR IS TO COORDINATE WITH THE BUILDING PLANS TO ENSURE ACCURACY OF UTILITY CONNECTIONS AND COMPLIANCE WITH LOCAL CODES.
4. ALL SEWERS ARE TO BE MAINTAINED THROUGHOUT CONSTRUCTION, INCLUDING CLEANING OF ANY SILT OR DEBRIS ACCUMULATED IN STRUCTURES.
5. ALL SURPLUS EXCAVATED MATERIAL FROM THE TRENCH SHALL BE DISPOSED OFF THE SITE BY THE CONTRACTOR.
6. THE CONTRACTOR IS TO COORDINATE EXACT TRENCHING, ROUTING, AND POINT OF TERMINATION WITH ALL UTILITY COMPANIES.
7. ALL WORK WITHIN THE RIGHT-OF-WAY SHALL CONFORM TO GOVERNING STATE AND/OR LOCAL SPECIFICATIONS.
8. ALL UTILITIES ARE TO BE INSTALLED UNDERGROUND.
9. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE TOWNSHIP OF NUTLEY SPECIFICATIONS.

LEGEND

	PROPERTY LINE
	PROPOSED GAS LINE
	PROPOSED/RELOCATED ELECTRIC LINE
	PROPOSED STORM LINE
	PROPOSED STORM DRAINAGE 'TYPE B' INLET STRUCTURE
	SITE LIGHT FIXTURE
	EXISTING STORM LINE
	EXISTING SANITARY LINE
	EXISTING ELECTRIC LINE
	EXISTING 10" WATER MAIN
	EXISTING DOMESTIC WATER LINE
	EXISTING FIRE LINE
	EXISTING UTILITY & STRUCTURE
	EXISTING STORM MANHOLE
	EXISTING SANITARY MANHOLE





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ISSUE/REVISION RECORD

DATE	DESCRIPTION
07/07/2020	BID SET
07/21/2020	PLANNING BOARD SUBMISSION

PROFESSIONAL SEAL



PROFESSIONAL IN CHARGE
STEPHEN POWERS
PROFESSIONAL ENGINEER
LICENSE NO. 24GE04773100

PROJECT MANAGER
RICHARD PROCANIK

QUALITY CONTROL
RICHARD PROCANIK

DRAWN BY
THOMAS WIENCKOWSKI

PROJECT NAME
111 IDEATION WAY PARKING LOT

NUTLEY NEW JERSEY

EXISTING BLOCK 300 LOT 1 & 1.05
PROPOSED LOT 1.05A
TOWNSHIP OF NUTLEY
ESSEX COUNTY, NJ
ZONING DISTRICT: RRP-2A
ROCHE REDEVELOPMENT PLAN PHASE 1A

PROJECT NUMBER
20161711.0

SHEET TITLE
SOIL EROSION AND SEDIMENT CONTROL PLAN

SHEET NUMBER
5.0

- LEGEND**
- PROPERTY LINE
 - 150- EXISTING 5' ELEVATION CONTOUR
 - 149- EXISTING 1' ELEVATION CONTOUR
 - EXISTING CURB
 - EXISTING WALL
 - EXISTING FENCE
 - EXISTING GUIDE RAIL
 - EXISTING STORM LINE
 - PROPOSED CURB
 - PROPOSED FENCE
 - PROPOSED CONCRETE SIDEWALK
 - 150- PROPOSED 5' ELEVATION CONTOUR
 - 149- PROPOSED 1' ELEVATION CONTOUR
 - PROPOSED STORM LINE
 - PROPOSED GAS LINE
 - MHE EXISTING STORM MANHOLE TO REMAIN
 - CMB EXISTING STORM CATCH BASIN TO REMAIN
 - PROPOSED STORM DRAINAGE "TYPE B" INLET STRUCTURE
 - SITE LIGHT FIXTURE
 - SF SILT FENCE
 - LOD LIMIT OF DISTURBANCE
 - BALE SEDIMENT BARRIER
 - SOIL BOUNDARY
 - INLET PROTECTION
 - STABILIZED CONSTRUCTION ENTRANCE
 - PERMANENT SEEDING
 - TOPSOIL STOCK PILE
 - SUITABLE FILL STOCK PILE
 - EROSION CONTROL BLANKET

SOIL TYPES:

- USBOOC** URBAN LAND, BOONTON SUBSTRATUM-BOONTON COMPLEX, RED SANDSTONE LOWLAND, 8 TO 15 PERCENT SLOPES
- USBOOB** URBAN LAND, BOONTON SUBSTRATUM-BOONTON COMPLEX, RED STONE LOWLAND, 0 TO 8 PERCENT SLOPES
- BOOC** BOONTON SILT LOAM, RED SANDSTONE LOWLAND, 8 TO 15 PERCENT SLOPES

SOURCE: WEB SOIL SURVEY (NRCS)

- EROSION NOTES:**
- BSB** BALE SEDIMENT BARRIER
 - DC** DUST CONTROL
 - ECB** EROSION CONTROL BLANKET
 - IP** INLET PROTECTION
 - PS** PERMANENT SEEDING
 - SCE** STABILIZED CONSTRUCTION ENTRANCE
 - SF** SILT FENCE
 - SFSP** SUITABLE FILL STOCKPILE
 - TSP** TOPSOIL STOCK PILE

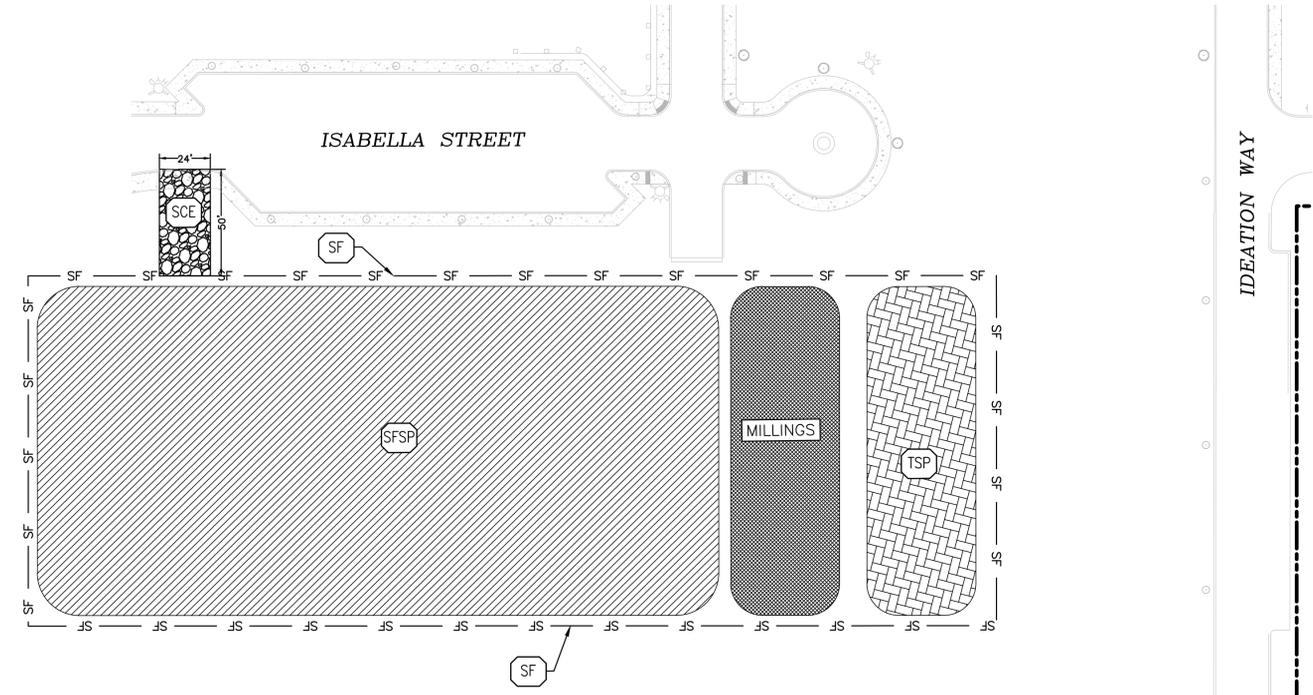
GENERAL NOTE:
ALL DISTURBED AREAS SHALL BE STABILIZED WITH TOPSOIL, SEED, HAY, AND STRAW MULCH TO ENSURE LAWN GROWTH.

AREA SUMMARY (IN ACRES)

DISTURBED AREA FOR PROPOSED DEVELOPMENT	1.74
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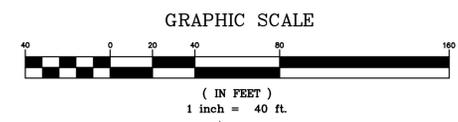
NOTE: UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAY DOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, MASON'S AREA, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC., IMMEDIATELY DENOTE THEM ON THE SITE MAPS AND NOTE ANY CHANGES IN LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS. IN ADDITION, NOTE ALL AREAS WHERE FILL IS IMPORTED FROM OR SOIL IS EXPORTED TO ON THE SITE MAPS.

SOIL MANAGEMENT NOTE:
ACCORDING TO STATE OF NEW JERSEY LAND USE CLASSIFICATION SYSTEM, THE SITE IS UNDER URBAN REDEVELOPMENT AREA, LAND USE CODE 1,110. THEREFORE, THE PROPOSED PROJECT DOES NOT REQUIRE COMPACTION REMEDIATION, AS PER EXEMPTION #6 UNDER SOIL MANAGEMENT AND PREPARATION STANDARDS FOR SOIL AND SEDIMENT CONTROL IN NEW JERSEY.



SOIL EROSION AND SEDIMENT CONTROL STOCKPILES

SCALE: 1"=40'



1
5.0

DISCLAIMER NOTICE

THIS PLAN FOR SOIL EROSION AND SEDIMENT CONTROL PURPOSES ONLY

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STANDARD FOR LAND GRADING:

DEFINITION:

RESHAPING THE GROUND SURFACE BY GRADING TO PLANNED ELEVATIONS WHICH ARE DETERMINED BY TOPOGRAPHIC SURVEY AND LAYOUT.

PURPOSE:

THE PRACTICE IS FOR ONE OR MORE OF THE FOLLOWING: PROVIDE MORE SUITABLE SITES FOR LAND DEVELOPMENT; IMPROVE SURFACE DRAINAGE AND CONTROL EROSION.

CONDITION WHERE PRACTICE APPLIES:

THIS PRACTICE IS APPLICABLE WHERE GRADING TO PLANNED ELEVATIONS IS PRACTICAL AND IT IS DETERMINED THAT GRADING IS NEEDED. GRADING THAT INVOLVES THE DISTURBANCE OF VEGETATION OVER LARGE AREAS SHALL BE AVOIDED. IT MAY BE NECESSARY TO PROVIDE FOR TEMPORARY STABILIZATION OF LARGE AREAS.

WATER QUALITY ENHANCEMENT:

PROPER GRADING OF DISTURBED SITES WILL PROTECT AGAINST SOIL LOSS FROM EROSION, ENHANCE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER AND HELP TO PROPERLY MANAGE STORMWATER RUNOFF ALL OF WHICH WILL REDUCE OFF SITE DISCHARGE OF POLLUTANTS.

PLANNING CRITERIA:

THE GRADING PLAN AND INSTALLATION SHALL BE BASED UPON ADEQUATE TOPOGRAPHIC SURVEYS AND INVESTIGATIONS. THE PLAN IS TO SHOW THE LOCATION, SLOPE, CUT, FILL AND FINISH ELEVATION OF THE SURFACES TO BE GRADED. THE PLAN SHOULD ALSO INCLUDE AUXILIARY PRACTICES FOR SAFE DISPOSAL OF RUNOFF WATER, SLOPE STABILIZATION, EROSION CONTROL AND DRAINAGE. FACILITIES SUCH AS WATERWAYS, DITCHES, DIVERSIONS, GRADE STABILIZATION STRUCTURES, RETAINING WALLS AND SUBSURFACE DRAINS SHOULD BE INCLUDED WHERE NECESSARY.

EROSION CONTROL MEASURES SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE APPLICABLE STANDARD CONTAINED HEREIN.

THE DEVELOPMENT AND ESTABLISHMENT OF THE PLAN SHALL INCLUDE THE FOLLOWING:

1. THE CUT FACE OF EARTH EXCAVATIONS AND FILLS SHALL BE NO STEEPER THAN THE SAFE ANGLE OF REPOSE FOR THE MATERIALS ENCOUNTERED AND FLAT ENOUGH FOR PROPER MAINTENANCE.
2. THE PERMANENTLY EXPOSED FACES OF EARTH CUTS AND FILLS SHALL BE VEGETATED OR OTHERWISE PROTECTED FROM EROSION.
3. PROVISIONS SHALL BE MADE TO SAFELY CONDUCT SURFACE WATER TO STORM DRAINS OR SUITABLE WATER COURSES AND TO PREVENT SURFACE RUNOFF FROM DAMAGING CUT FACES AND FILL SLOPES.
4. SUBSURFACE DRAINAGE IS TO BE PROVIDED IN AREAS HAVING A HIGH WATER TABLE, TO INTERCEPT SEEPAGE THAT WOULD ADVERSELY AFFECT SLOPE STABILITY, BUILDING FOUNDATIONS OR CREATE UNDESIRABLE WETNESS. SEE STANDARD FOR SUBSURFACE DRAINAGE, PG 32-1 OF THE SESC MANUAL.
5. ADJOINING PROPERTY SHALL BE PROTECTED FROM EXCAVATION AND FILLING OPERATIONS.
6. FILL SHALL NOT BE PLACED ADJACENT TO THE BANK OF A STREAM OR CHANNEL, UNLESS PROVISIONS ARE MADE TO PROTECT THE HYDRAULIC, BIOLOGICAL, AESTHETIC AND OTHER ENVIRONMENTAL FUNCTIONS OF THE STREAM.

INSTALLATION REQUIREMENTS:

TIMBER, LOGS, BRUSH, RUBBISH, ROCKS, STUMPS AND VEGETATIVE MATTER WHICH WILL INTERFERE WITH THE GRADING OPERATION OR AFFECT THE PLANNED STABILITY OR FILL AREAS SHALL BE REMOVED AND DISPOSED OF ACCORDING TO THE PLAN.

TOPSOIL IS TO BE STRIPPED AND STOCKPILED IN AMOUNTS NECESSARY TO COMPLETE FINISH GRADING OF ALL EXPOSED AREAS REQUIRING TOPSOIL. SEE STANDARD FOR TOPSOILING, PG. 8-1 OF THE SESC MANUAL.

FILL MATERIAL IS TO BE FREE OF BRUSH, RUBBISH, TIMBER, LOGS, VEGETATIVE MATTER AND STUMPS IN AMOUNTS THAT WILL BE DETRIMENTAL TO CONSTRUCTING STABLE FILLS.

ALL FILLS SHALL BE COMPACTED SUFFICIENTLY FOR THEIR INTENDED PURPOSE AND AS REQUIRED TO REDUCE SLIPPING, EROSION OR EXCESSIVE SATURATION.

ALL DISTURBED AREAS SHALL BE LEFT WITH A NEAT AND FINISHED APPEARANCE AND SHALL BE PROTECTED FROM EROSION. SEE STANDARDS FOR PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION, PG. 4-1 OF THE SESC MANUAL.

TREES TO BE RETAINED SHALL BE PROTECTED IF NECESSARY IN ACCORDANCE WITH THE STANDARD FOR TREE PROTECTION DURING CONSTRUCTION, PG 9-1 OF THE SESC MANUAL.

SOIL COMPACTION RESULTING FROM LAND GRADING ACTIVITIES CAN IMPACT THE INFILTRATION RATE OF THE SOIL. RESTORATION OF COMPACTED SOILS THROUGH DEEP TILLAGE (6" TO 12") AND THE ADDITION OF ORGANIC MATTER MAY BE REQUIRED IN PLANNED PEROUS AREAS TO ENHANCE THE INFILTRATION RATE OF THE DISTURBED SOIL. THIS PRACTICE IS PERMISSIBLE ONLY WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.)

STANDARD FOR DUST CONTROL:

DEFINITION:

THE CONTROL OF DUST ON CONSTRUCTION SITES AND ROADS.

PURPOSE:

TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES, REDUCE ON-SITE AND OFF-SITE DAMAGE AND HEALTH HAZARDS AND IMPROVE TRAFFIC SAFETY.

CONDITION WHERE PRACTICE APPLIES:

THIS PRACTICE IS APPLICABLE TO AREAS SUBJECT TO DUST BLOWING AND MOVEMENT WHERE ON-SITE AND OFF-SITE DAMAGE IS LIKELY WITHOUT TREATMENT. CONSULT WITH LOCAL MUNICIPAL ORDINANCES ON ANY RESTRICTIONS.

WATER QUALITY ENHANCEMENT:

SEDIMENTS DEPOSITED AS "DUST" ARE OFTEN FINE COLLOIDAL MATERIAL WHICH IS EXTREMELY DIFFICULT TO REMOVE FROM WATER ONCE IT BECOMES SUSPENDED. USE OF THIS STANDARD WILL HELP TO CONTROL THE GENERATION OF DUST FROM CONSTRUCTION SITES AND SUBSEQUENT BLOWING AND DEPOSITION INTO LOCAL SURFACE WATER RESOURCES.

PLANNING CRITERIA:

THE FOLLOWING METHODS SHOULD BE CONSIDERED FOR CONTROLLING DUST:

- MULCHES
- VEGETATIVE COVER
- SPRAY-ON ADHESIVES -- ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS.

DUST CONTROL MATERIALS

MATERIAL	WATER DILUTION	TYPE OF NOZZLE	APPLY GALLONS/ACRE
ANIONIC ASPHALT EMULSION	7:1	COARSE SPRAY	1200
LATEX EMULSION	12.5:1	FINE SPRAY	235
RESIN IN WATER	4:1	FINE SPRAY	300
POLYACRYLAMIDE (PAM) - SPRAY ON	APPLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS.		
POLYACRYLAMIDE (PAM) - DRY SPREAD	MAY ALSO BE USED AS AN ADDITIVE TO SEDIMENT BASINS TO FLOCCULATE AND PRECIPITATE SUSPENDED COLLOIDS.		
RESIN IN WATER	NONE	COARSE SPRAY	1200

TILLAGE:

TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.

SPRINKLING:

SITE IS SPRINKLED UNTIL THE SURFACE IS WET.

BARRIERS:

SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.

CALCIUM CHLORIDE:

SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS OR ACCUMULATION AROUND PLANTS.

STONE:

COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

STANDARD FOR TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION:

DEFINITION:

ESTABLISHMENT OF TEMPORARY VEGETATIVE COVER ON SOILS EXPOSED FOR PERIODS OF TWO TO 6 MONTHS WHICH ARE NOT BEING GRADED, NOT UNDER ACTIVE CONSTRUCTION OR NOT SCHEDULED FOR PERMANENT SEEDING WITHIN 60 DAYS.

PURPOSE:

TO TEMPORARILY STABILIZE THE SOIL AND REDUCE DAMAGE FROM WIND AND WATER EROSION UNTIL PERMANENT STABILIZATION IS ACCOMPLISHED.

WATER QUALITY ENHANCEMENT:

PROVIDES TEMPORARY PROTECTION AGAINST THE IMPACTS OF WIND AND RAIN, SLOWS THE OVER LAND MOVEMENT OF STORMWATER RUNOFF, INCREASES INFILTRATION AND RETAINS SOIL AND NUTRIENTS ON SITE, PROTECTING STREAMS OR OTHER STORMWATER CONVEYANCES.

WHERE APPLICABLE:

ON EXPOSED SOILS THAT HAVE THE POTENTIAL FOR CAUSING OFF-SITE ENVIRONMENTAL DAMAGE.

STANDARD FOR TEMPORARY STABILIZATION WITH MULCH

- A. MULCHING IS MOST APPLICABLE TO THOSE AREAS SUBJECT TO PERIODIC DISTURBANCE AND REWORKING. IN ADDITION, STABILIZATION WITH MULCH SHALL BE USED DURING NON-GERMINATION PERIODS.
- B. PERFORM ALL CULTURAL OPERATIONS AT RIGHT ANGLES TO THE SLOPE.
- C. PROTECTIVE MATERIALS TO BE USED:
 - C.A. UNROTTED SMALL-GRAIN STRAW OR HAY AT 3.0 TONS PER ACRE SPREAD UNIFORMLY AT 135 POUNDS PER 1000 SQUARE FEET AND ANCHORED WITH LIQUID MULCH BINDER OR: WOOD-FIBER OR PAPER-FIBER MULCH AT A RATE OF 1500 POUNDS PER ACRE MAY BE APPLIED BY A HYDROSEEDER OR HYDROMULCHER. USE IS LIMITED TO FLATTER SLOPES AND DURING OPTIMUM SEEDING PERIODS IN SPRING AND FALL.
 - C.B. LIQUID MULCH BINDERS: APPLY IMMEDIATELY AFTER PLACEMENT OF HAY OR STRAW MULCH TO MINIMIZE LOSS BY WIND OR WATER. IF EMULSIFIED ASPHALT -- (SS-1, CSS-1, CMS-2, MS-2, RS-1, RS-2, CRS-1 AND CRS-2), APPLY 0.04 GAL./SQ. YD. OR 194 GAL./ACRE ON FLAT SLOPES LESS THAN 8' HIGH. ON SLOPES 8' OR MORE HIGH USE 0.075 GAL./SQ. YD. OR 363 GAL./ACRE.

STANDARD FOR TEMPORARY STABILIZATION WITH SEED

SITE PREPARATION:

- A. APPLY 1 TON OF AGRICULTURAL-GRADE LIMESTONE PER ACRE
- B. FERTILIZER AT THE RATE OF 50-50-50 PER ACRE
- C. WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF FOUR (4) INCHES.

TEMPORARY SEEDING:

- A. SECURE A SOIL TEST BEFORE MAKING A PERMANENT SEEDING.
- B. APPLY TEMPORARY SEEDING: WINTER RYE: SHALL BE APPLIED AT A RATE OF 168 LB/ACRE (56% PLS)
- C. AFTER SEEDING, MULCH WITH HAY OR STRAW (SEE MULCH SPECIFICATIONS) AT A RATE OF 3 TONS PER ACRE

STANDARD FOR PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION:

DEFINITION:

ESTABLISHMENT OF PERMANENT VEGETATIVE COVER ON EXPOSED SOILS WHERE PERENNIAL VEGETATION IS NEEDED FOR LONG-TERM PROTECTION.

PURPOSE:

TO PERMANENTLY STABILIZE THE SOIL, ENSURING CONSERVATION OF SOIL AND WATER, AND TO ENHANCE THE ENVIRONMENT.

WATER QUALITY ENHANCEMENT:

SLOWS THE OVER-LAND MOVEMENT OF STORMWATER RUNOFF, INCREASES INFILTRATION AND RETAINS SOIL AND NUTRIENTS ON SITE, PROTECTING STREAMS OR OTHER STORMWATER CONVEYANCES.

WHERE APPLICABLE:

ON EXPOSED SOILS THAT HAVE A POTENTIAL FOR CAUSING OFF-SITE ENVIRONMENTAL DAMAGE.

SITE PREPARATION:

- A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARD FOR LAND GRADING.
- B. IMMEDIATELY PRIOR TO SEEDING AND TOPSOIL APPLICATION, THE SUBSOIL SHALL BE EVALUATED FOR COMPACTION IN ACCORDANCE WITH THE STANDARD FOR LAND GRADING.
- C. TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING THE SOIL STRUCTURE. A UNIFORM APPLICATION TO A DEPTH OF 5 INCHES (UNSETTLED) IS REQUIRED ON ALL SITES. TOPSOIL SHALL BE AMENDED WITH ORGANIC MATTER, AS NEEDED, IN ACCORDANCE WITH THE STANDARD FOR TOPSOILING.
- D. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE-STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS.

PERMANENT SEEDING SHALL CONSIST OF THE FOLLOWING MIXTURES OR APPROVED EQUAL-- SEEDING IS NOT PERMITTED BETWEEN OCTOBER 2ND AND MARCH 14TH.
KENTUCKY BLUE GRASS-- 1.0 LBS/1,000 S.F.
TURF-TYPE TALL FESCUE-- 5.0 LBS/1,000 S.F.

MULCHING:

MULCHING IS REQUIRED ON ALL SEEDING. MULCH WILL PROTECT AGAINST EROSION BEFORE GRASS IS ESTABLISHED AND WILL PROMOTE FASTER AND EARLIER ESTABLISHMENT. THE EXISTENCE OF VEGETATION SUFFICIENT TO CONTROL SOIL EROSION SHALL BE DEEMED COMPLIANCE WITH THIS MULCHING REQUIREMENT.

SEQUENCE OF CONSTRUCTION:

THERE SHALL BE AN ON-SITE PRE-CONSTRUCTION MEETING WITH REPRESENTATIVES FROM THE COUNTY CONSERVATION DISTRICT, CONTRACTOR, AND THE CIVIL ENGINEER. THE CONTRACTOR SHALL NOTIFY THE COUNTY CONSERVATION DISTRICT IN WRITING AT LEAST 48 HOURS PRIOR TO ANY LAND DISTURBANCE/DEMOLITION WORK. THE LIMIT OF DISTURBANCE SHALL BE STAKED AND DELINEATED PRIOR TO ANY EARTH DISTURBANCE.

(DEMOLITION):

DURATION: 6 MONTHS

CONSTRUCTION SEQUENCE:

1. INSTALL STABILIZED CONSTRUCTION EXIT(S).
2. INSTALL SILT FENCE(S) ON THE SITE (CLEAR ONLY THOSE AREAS NECESSARY TO INSTALL SILT FENCE).
3. INSTALL APPROPRIATE INLET PROTECTION DEVICES PERTINENT TO THE CURRENT LIMITS OF CONSTRUCTION.
3. BEGIN SELECTED DEMOLITION OF EXISTING UTILITIES, AND ANY CURBING/PAVEMENT. LIMIT COMPLETE REMOVAL OF EXISTING EARTH COVER (ASPHALT, ROAD BASE, VEGETATION) TO THE MAXIMUM EXTENT POSSIBLE.
4. TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DENUDED AREAS THAT WILL BE INACTIVE FOR 14 DAYS OR MORE.
5. INSTALL AND STABILIZE STORMWATER PIPE NETWORK.
6. INSTALL APPROPRIATE INLET PROTECTION MEASURES AT ALL STORM SEWER STRUCTURES AS EACH INLET STRUCTURE IS INSTALLED. INLET PROTECTION MEASURES ARE TO BE MODIFIED AS NECESSARY TO MATCH CHANGES IN SITE CONDITIONS DURING CONSTRUCTION.
7. BEGIN CLEARING AND GRUBBING THE SITE IN THOSE AREAS PERTINENT TO THE CURRENT LIMITS OF CONSTRUCTION. CLEAR ONLY THOSE AREAS NECESSARY TO ESTABLISH THE PROPOSED FINISHED GRADE AND CONSTRUCT THE PROPOSED IMPROVEMENTS WITHIN THE CURRENT LIMITS OF DISTURBANCE.
8. TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DENUDED AREAS THAT WILL BE INACTIVE FOR 14 DAYS OR MORE.
9. BEGIN GRADING THE SITE WITHIN THE CURRENT LIMITS OF DISTURBANCE. ALL AREAS AT FINAL GRADE MUST BE PERMANENTLY STABILIZED IMMEDIATELY AFTER COMPLETION OF WORK IN THAT AREA.
10. PAVE ROADWAYS.
11. INSTALL APPROPRIATE INLET PROTECTION DEVICES FOR PAVED AREAS AS WORK PROGRESSES.
12. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE GENERAL CONTRACTOR IS TO CONTACT A REPRESENTATIVE FROM THE LOCAL CONSERVATION DISTRICT SCHEDULE A SITE INSPECTION PRIOR TO REMOVAL OF THE EROSION AND SEDIMENTATION CONTROL BMP'S.
13. OBTAIN CONCURRENCE WITH THE LOCAL CONSERVATION DISTRICT THAT FINAL SITE STABILIZATION HAS BEEN ACHIEVED.
14. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES.
15. STABILIZE ANY AREAS DISTURBED BY THE REMOVAL OF EROSION AND SEDIMENT CONTROL DEVICES.
16. CONTACT THE LOCAL CONSERVATION DISTRICT AT 862-333-4505 TO REQUEST A FINAL INSPECTION, GIVING ADVANCED NOTICE UPON COMPLETION OF THE RESTABILIZATION MEASURES.
17. A DISTRICT ISSUED REPORT-OF-COMPLIANCE MUST BE OBTAINED PRIOR TO APPLYING FOR THE CERTIFICATE OF OCCUPANCY OR TEMPORARY CERTIFICATE OF OCCUPANCY FROM THE RESPECTIVE MUNICIPALITY, NJ -- DCA OR ANY OTHER CONTROLLING AGENCY. A PERFORMANCE DEPOSIT MAY BE POSTED WITH THE DISTRICT WHEN WINTER WEATHER OR SNOW COVER PROHIBITS THE PROPER APPLICATION OF SEED, MULCH, FERTILIZER OR HYDRO-SEED.

SEDIMENT AND EROSION CONTROL

(HUDSON-ESSEX-PASSAIC COUNTY) NOTES:

1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THIS PLAN WILL BE CONSTRUCTED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL: 7TH EDITION LAST REVISED JANUARY 2014. THESE MEASURES WILL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. ALL SOIL TO BE EXPOSED OR STOCKPILED FOR A PERIOD OF GREATER THAN 14 DAYS, AND NOT UNDER ACTIVE CONSTRUCTION, WILL BE TEMPORARILY SEEDED AND HAY MULCHED OR OTHERWISE PROVIDED WITH VEGETATIVE COVER. THIS TEMPORARY COVER SHALL BE MAINTAINED UNTIL SUCH TIME WHEREBY PERMANENT RESTABILIZATION IS ESTABLISHED.
3. SEEDING DATES: THE FOLLOWING SEEDING DATES ARE RECOMMENDED TO BEST ESTABLISH PERMANENT VEGETATIVE COVER WITHIN MOST LOCATIONS IN THE HEPSCD: SPRING -- 3/1-5/15 AND FALL -- 8/15 - 10/1
4. SEDIMENT FENCES ARE TO BE PROPERLY TRENCHED AND MAINTAINED UNTIL PERMANENT VEGETATIVE COVER IS ESTABLISHED
5. ALL STORM DRAINAGE INLETS SHALL BE PROTECTED BY ONE OF THE PRACTICES ACCEPTED IN THE STANDARDS, AND PROTECTION SHALL REMAIN UNTIL PERMANENT STABILIZATION HAS BEEN ESTABLISHED. STORM DRAINAGE OUTLET POINTS SHALL BE PROTECTED AS REQUIRED BEFORE THEY BECOME FUNCTIONAL.
6. MULCH MATERIALS SHALL BE UN-ROTTED SMALL GRAIN STRAW APPLIED AT THE RATE OF 70 TO 90 POUNDS PER 1,000 SQUARE FEET AND ANCHORED WITH A MULCH ANCHORING TOOL, LIQUID MULCH BINDERS, OR NETTING TIE DOWN. OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT.
7. ALL EROSION CONTROL DEVICES SHALL BE PERIODICALLY INSPECTED, MAINTAINED AND CORRECTED BY THE CONTRACTOR. ANY DAMAGE INCURRED BY EROSION SHALL BE RECTIFIED IMMEDIATELY.
8. THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT WILL BE NOTIFIED IN WRITING AT LEAST 48 HOURS PRIOR TO ANY SOIL DISTURBING ACTIVITIES. FAX -- (862) 333-4507 OR EMAIL -- INFORMATION@HEPSCD.ORG
9. THE APPLICANT MUST OBTAIN A DISTRICT ISSUED REPORT-OF-COMPLIANCE PRIOR TO APPLYING FOR THE CERTIFICATE OF OCCUPANCY OR TEMPORARY CERTIFICATE OF OCCUPANCY FROM THE RESPECTIVE MUNICIPALITY, NJ -- DCA OR ANY OTHER CONTROLLING AGENCY. CONTACT THE DISTRICT AT 862-333-4505 TO REQUEST A FINAL INSPECTION, GIVING ADVANCED NOTICE UPON COMPLETION OF THE RESTABILIZATION MEASURES. A PERFORMANCE DEPOSIT MAY BE POSTED WITH THE DISTRICT WHEN WINTER WEATHER OR SNOW COVER PROHIBITS THE PROPER APPLICATION OF SEED, MULCH, FERTILIZER OR HYDRO-SEED.
10. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES. DO NOT UTILIZE A FIRE OR GARDEN HOSE TO CLEAN ROADS UNLESS THE RUNOFF IS DIRECTED TO A PROPERLY DESIGNED AND FUNCTIONING SEDIMENT BASIN. WATER PUMPED OUT OF THE EXCAVATED AREAS CONTAINS SEDIMENTS THAT MUST BE REMOVED PRIOR TO DISCHARGING TO RECEIVING BODIES OF WATER USING REMOVABLE PUMPING STATIONS, SLUMP PITS, PORTABLE SEDIMENTATION TANKS AND/OR SILT CONTROL BAGS.
11. ALL SURFACES HAVING LAWN OR LANDSCAPING AS FINAL COVER ARE TO BE PROVIDED TOPSOIL PRIOR TO RE-SEEDING, SODDING OR PLANTING. A DEPTH OF 5 INCHES (UNSETTLED) IS RECOMMENDED.
12. ALL PLAN REVISIONS MUST BE SUBMITTED TO THE DISTRICT FOR PROPER REVIEW AND APPROVAL.
13. A CRUSHED STONE WHEEL CLEANING TRACKING-PAD IS TO BE INSTALLED AT ALL SITE EXITS USING 2 1/2 -1" CRUSHED ANGULAR STONE (ASTM 2 OR 3) TO A MINIMUM LENGTH OF 50 FEET AND MINIMUM DEPTH OF 6". ALL DRIVERWAYS MUST BE PROVIDED WITH CRUSHED STONE UNTIL PAVING IS COMPLETE.
14. STEEP SLOPES INCURRING DISTURBANCE MAY REQUIRE ADDITIONAL STABILIZATION MEASURES. THESE "SPECIAL" MEASURES SHALL BE DESIGNED BY THE APPLICANT'S ENGINEER AND BE APPROVED BY THE SOIL CONSERVATION DISTRICT.
15. THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING FOR THE SALE OF ANY PORTION OF THE PROJECT OR FOR THE SALE OF INDIVIDUAL LOTS. NEW OWNERS' INFORMATION SHALL BE PROVIDED. ADDITIONAL MEASURES DEEMED NECESSARY BY DISTRICT OFFICIALS SHALL BE IMPLEMENTED AS CONDITIONS WARRANT.



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DATE	DESCRIPTION
07/07/2020	BID SET
07/21/2020	PLANNING BOARD SUBMISSION

PROFESSIONAL SEAL



PROFESSIONAL IN CHARGE

STEPHEN POWERS
PROFESSIONAL ENGINEER
LICENSE NO. 246E04773100

PROJECT MANAGER

RICHARD PROCANIK

QUALITY CONTROL

RICHARD PROCANIK

DRAWN BY

THOMAS WIENCKOWSKI

PROJECT NAME

111 IDEATION WAY
PARKING LOT

NUTLEY
NEW JERSEY

EXISTING BLOCK 300 LOT 1 & 1.05
PROPOSED LOT 1.05A
TOWNSHIP OF NUTLEY
ESSEX COUNTY, NJ
ZONING DISTRICT: RRP-2A
ROCHE REDEVELOPMENT
PLAN PHASE 1A

PROJECT NUMBER

20161711.0

SHEET TITLE

SOIL EROSION AND
SEDIMENT CONTROL
NOTES

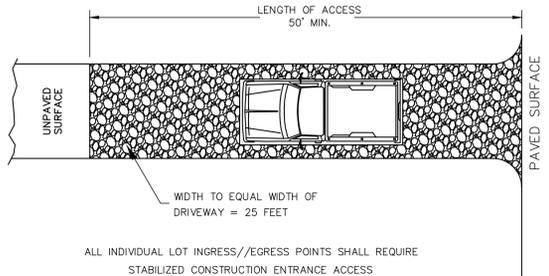
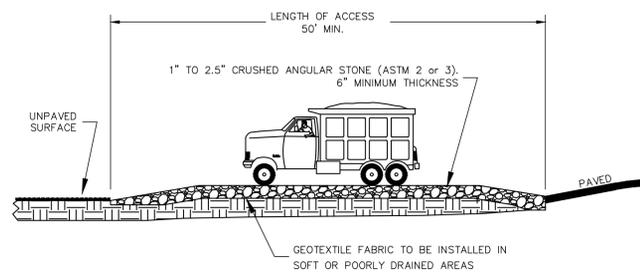
SHEET NUMBER

5.1

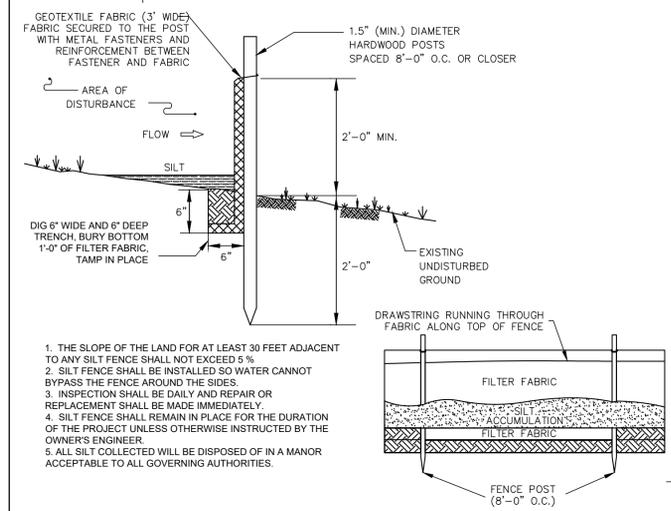


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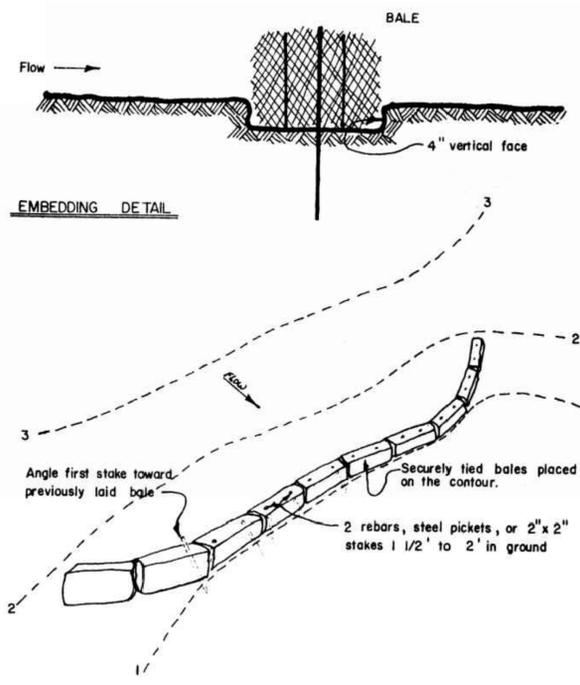


STABILIZED CONSTRUCTION ENTRANCE DETAIL 1
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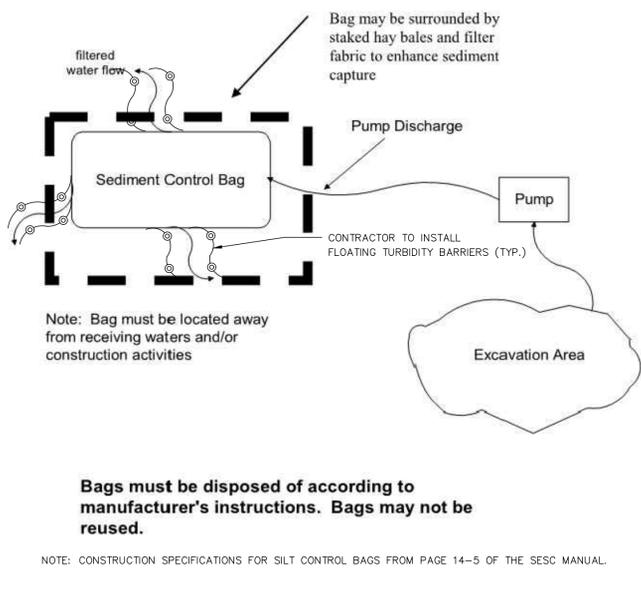


1. THE SLOPE OF THE LAND FOR AT LEAST 30 FEET ADJACENT TO ANY SILT FENCE SHALL NOT EXCEED 5%.
2. SILT FENCE SHALL BE INSTALLED SO WATER CANNOT BYPASS THE FENCE AROUND THE SIDES.
3. INSPECTION SHALL BE DAILY AND REPAIR OR REPLACEMENT SHALL BE MADE IMMEDIATELY.
4. SILT FENCE SHALL REMAIN IN PLACE FOR THE DURATION OF THE PROJECT UNLESS OTHERWISE INSTRUCTED BY THE OWNER'S ENGINEER.
5. ALL SILT COLLECTED WILL BE DISPOSED OF IN A MANNER ACCEPTABLE TO ALL GOVERNING AUTHORITIES.

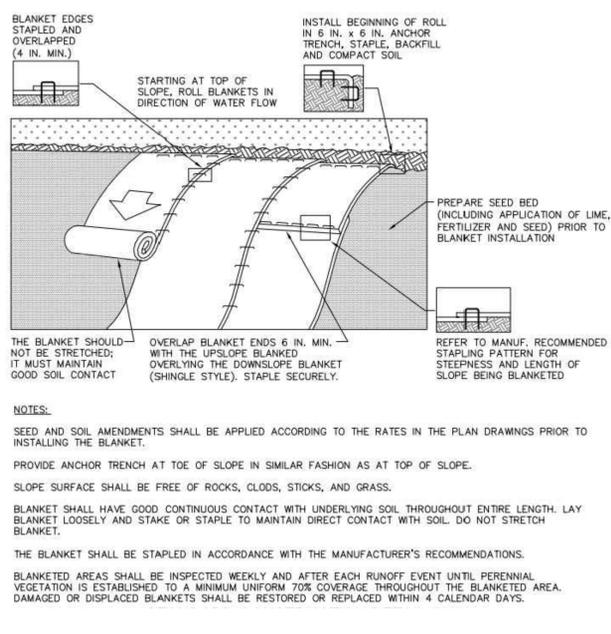
SILT FENCE DETAIL 2
 Scale= NTS 5.2



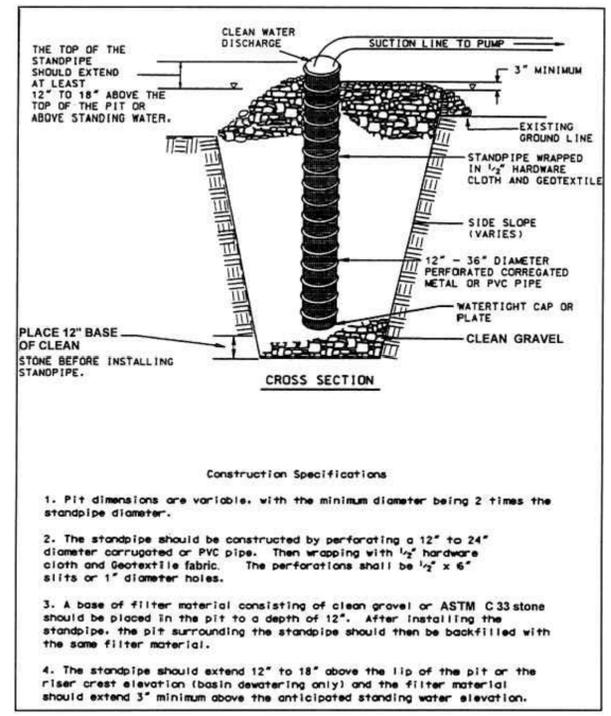
BALE SEDIMENT BARRIER DETAIL 3
 Scale= NTS 5.2



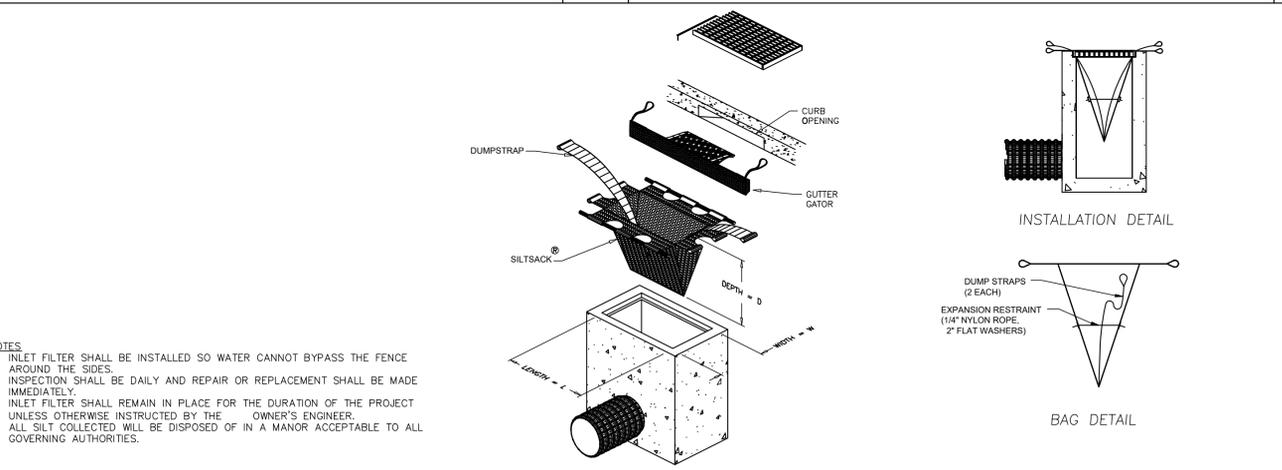
SEDIMENT CONTROL BAG FOR DEWATERING 4
 Scale= NTS 5.2



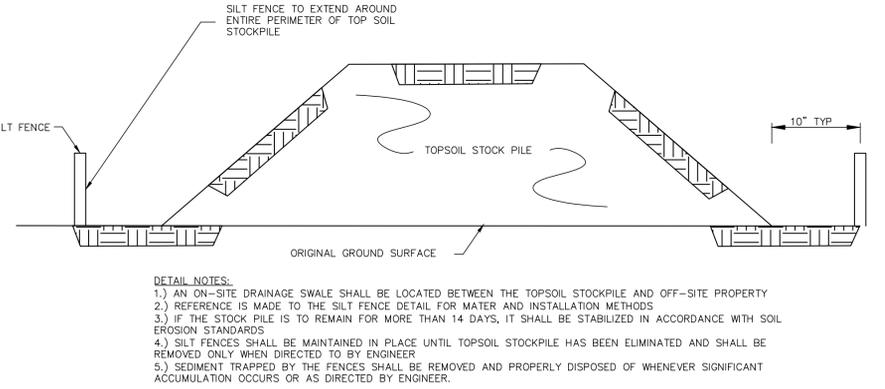
EROSION CONTROL BLANKET DETAIL 5
 Scale= NTS 5.2



SUMP PIT DETAIL 6
 Scale= NTS 5.2



SILT SACK INLET PROTECTION DETAIL 7
 Scale= NTS 5.2



TOPSOIL STOCKPILE DETAIL 8
 Scale= NTS 5.2



PROFESSIONAL IN CHARGE
STEPHEN POWERS
 PROFESSIONAL ENGINEER
 LICENSE NO. 24GE04773100
PROJECT MANAGER
 RICHARD PROCANIK
QUALITY CONTROL
 RICHARD PROCANIK
DRAWN BY
 THOMAS WIENCKOWSKI

PROJECT NAME
111 IDEATION WAY PARKING LOT

NUTLEY NEW JERSEY

EXISTING BLOCK 300 LOT 1 & 1.05
 PROPOSED LOT 1.05A
 TOWNSHIP OF NUTLEY
 ESSEX COUNTY, NJ
 ZONING DISTRICT: RRP-2A
 ROCHE REDEVELOPMENT PLAN PHASE IIA

PROJECT NUMBER
 20161711.0

SHEET TITLE
SOIL EROSION AND SEDIMENT CONTROL DETAILS

SHEET NUMBER
5.2

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PROFESSIONAL SEAL

STATE OF NEW JERSEY
STEPHEN J. POWERS
LICENSE NO. 24GE04773100
REGISTERED PROFESSIONAL ENGINEER

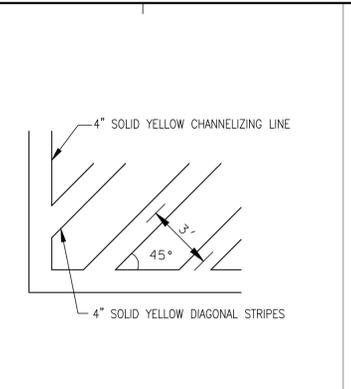
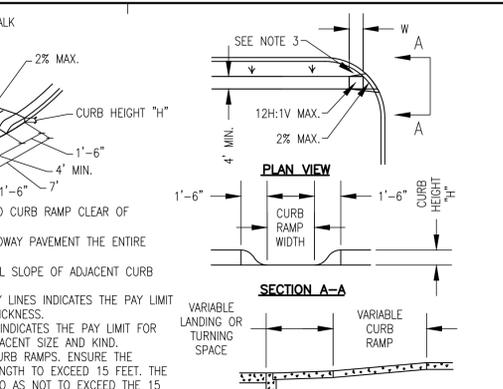
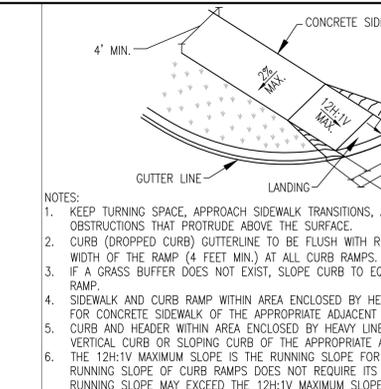
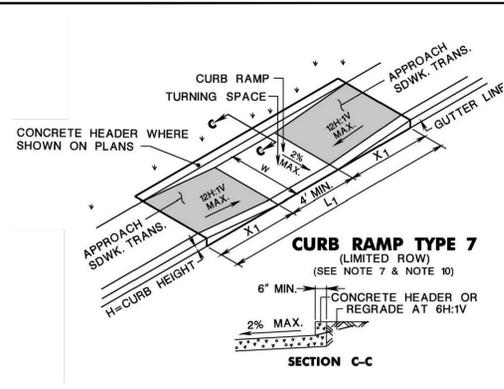
PROFESSIONAL IN CHARGE
STEPHEN POWERS
PROFESSIONAL ENGINEER
LICENSE NO. 24GE04773100

PROJECT MANAGER
RICHARD PROCANIK

QUALITY CONTROL
RICHARD PROCANIK

DRAWN BY
THOMAS WIENCKOWSKI

PROJECT NAME
111 IDEATION WAY
PARKING LOT

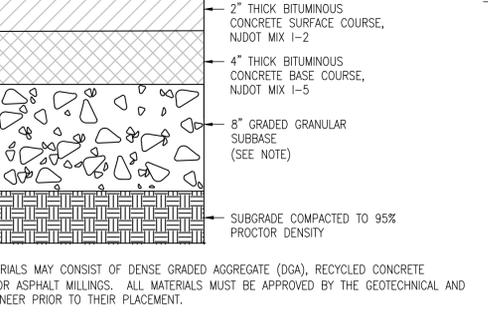
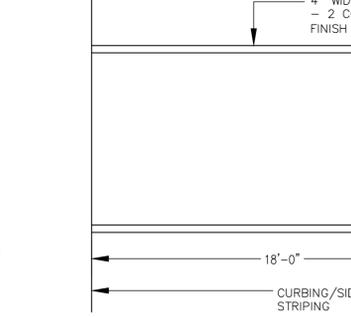
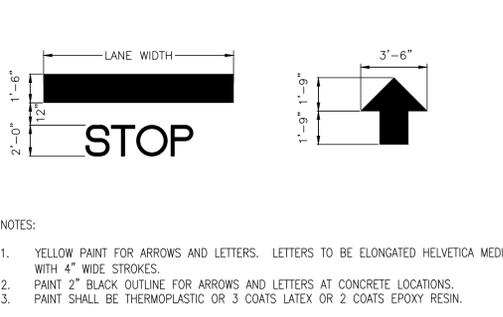
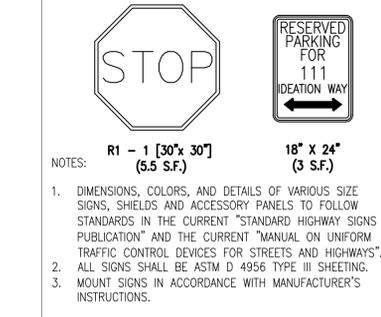
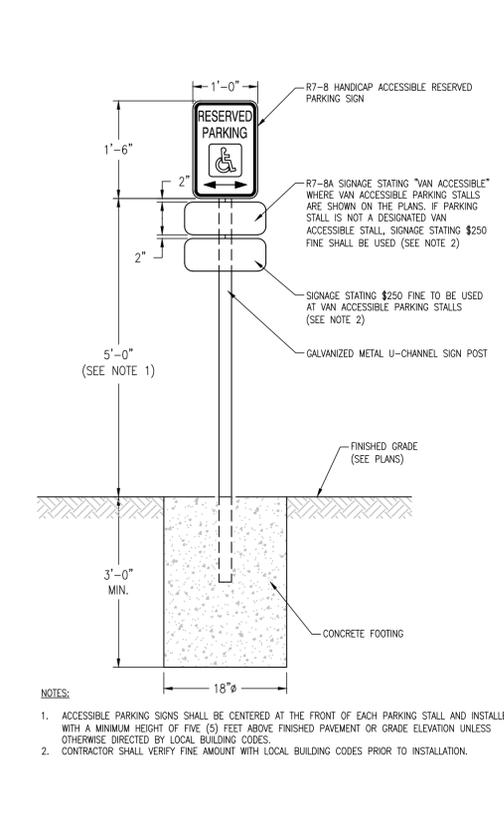


ADA CURB RAMP (NJDOT TYPE 7) 1
Scale= NTS 6.0

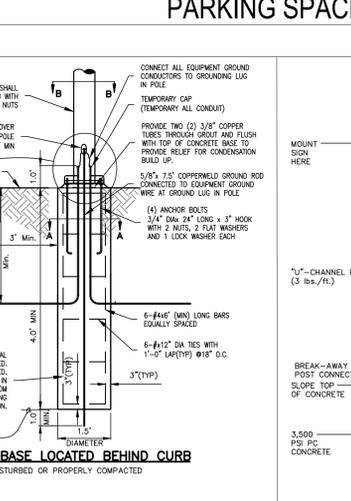
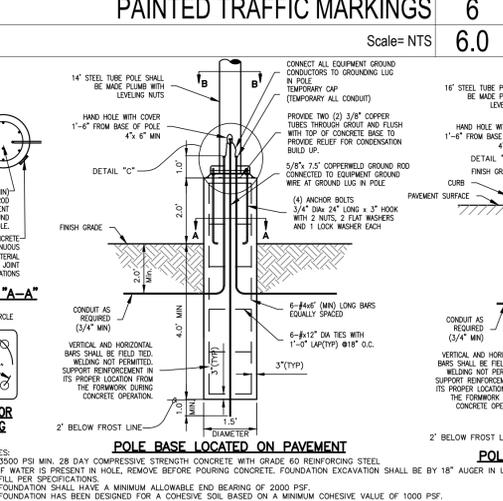
ADA CURB RAMP (NJDOT TYPE 5) 2
Scale= NTS 6.0

DIAGONAL STRIPING 3
Scale= NTS 6.0

FIRE LANE PAVEMENT STRIPING 4
Scale= NTS 6.0



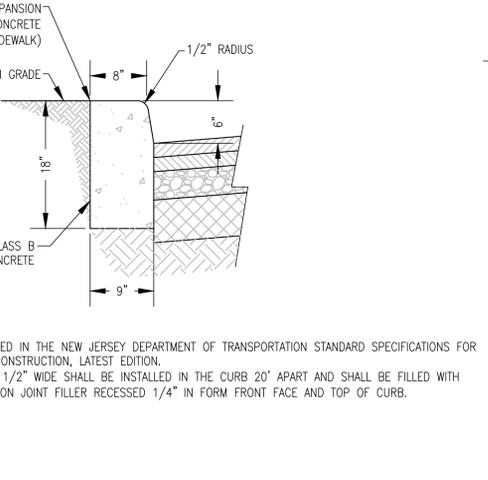
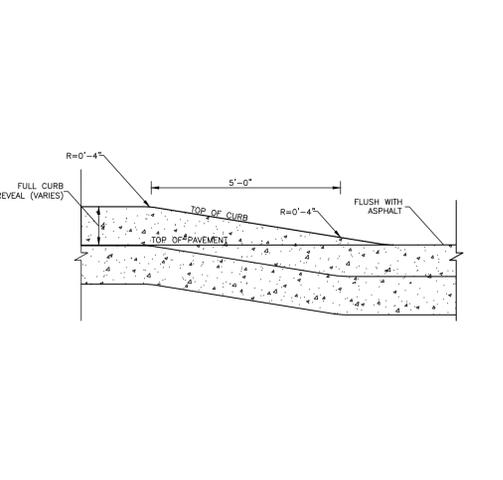
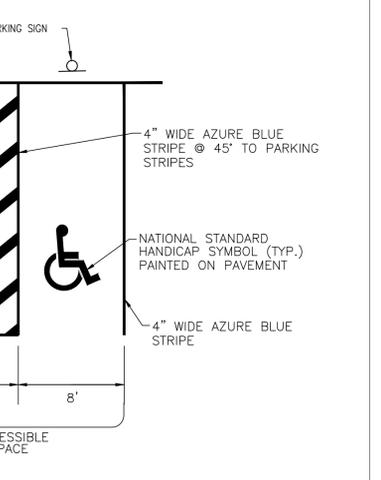
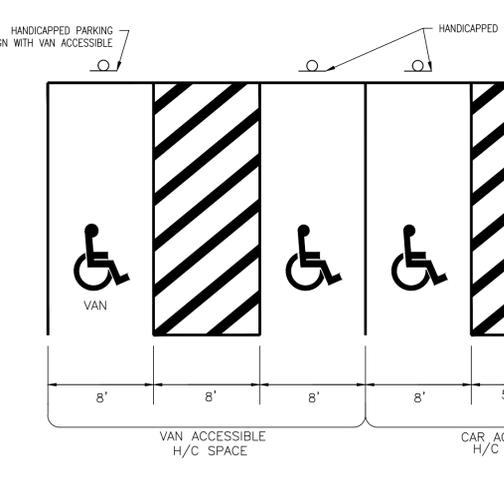
ADA ACCESSIBLE PARKING SIGN DETAIL 9
Scale= NTS 6.0



TYPICAL LIGHTING POLE BASE 10
Scale= NTS 6.0

SIGN POST 11
Scale= NTS 6.0

DETECTABLE WARNING SURFACE 12
Scale= NTS 6.0



ADA ACCESSIBLE PARKING STALL DETAIL 13
Scale= NTS 6.0

CURB TRANSITION DETAIL 14
Scale= NTS 6.0

CONCRETE SIDEWALK 15
Scale= NTS 6.0

TYPICAL CURB & PAVEMENT SECTION 16
Scale= NTS 6.0



PROFESSIONAL IN CHARGE
STEPHEN POWERS
PROFESSIONAL ENGINEER
LICENSE NO. 24GE04773100

PROJECT MANAGER
RICHARD PROCANIK

QUALITY CONTROL
RICHARD PROCANIK

DRAWN BY
THOMAS WIENCKOWSKI

PROJECT NAME
111 IDEATION WAY
PARKING LOT

NUTLEY
NEW JERSEY

EXISTING BLOCK 300 LOT 1 & 1.05
PROPOSED LOT 1.05A
TOWNSHIP OF NUTLEY
ESSEX COUNTY, NJ
ZONING DISTRICT: RRP-2A
ROCHE REDEVELOPMENT
PLAN PHASE 1A

PROJECT NUMBER
20161711.0

SHEET TITLE
CONSTRUCTION
DETAILS

SHEET NUMBER
6.0

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PROFESSIONAL SEAL

PROFESSIONAL IN CHARGE
STEPHEN POWERS
PROFESSIONAL ENGINEER
LICENSE NO. 24GE04773100

PROJECT MANAGER
RICHARD PROCANIK

QUALITY CONTROL
RICHARD PROCANIK

DRAWN BY
THOMAS WIENCKOWSKI

PROJECT NAME
111 IDEATION WAY PARKING LOT

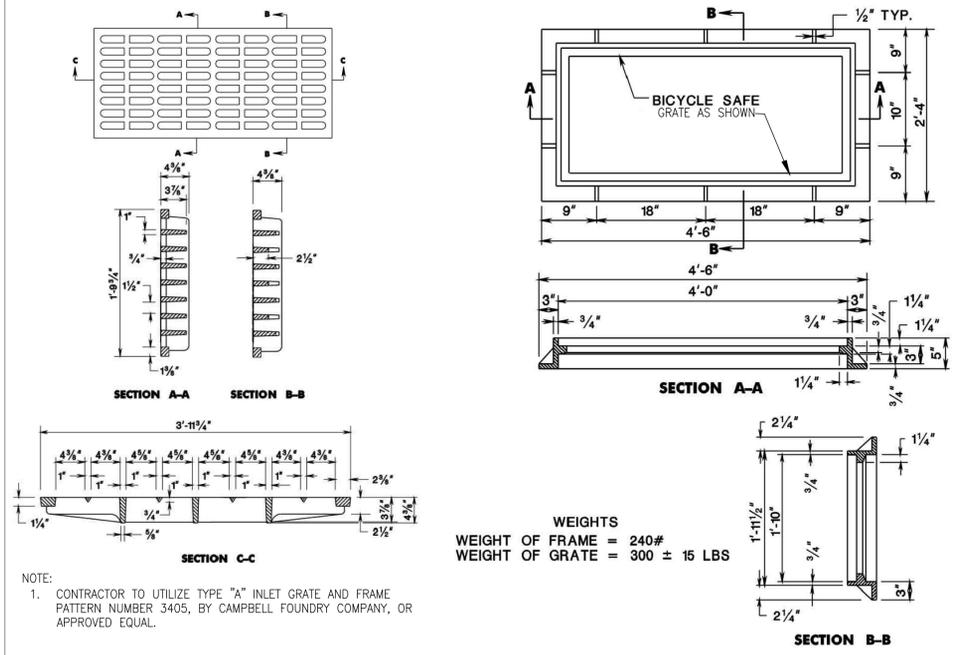
NUTLEY NEW JERSEY

EXISTING BLOCK 300 LOT 1 & 1.05
PROPOSED LOT 1.05A
TOWNSHIP OF NUTLEY
ESSEX COUNTY, NJ
ZONING DISTRICT: RRP-2A
ROCHE REDEVELOPMENT PLAN PHASE 8A

PROJECT NUMBER
20161711.0

SHEET TITLE
CONSTRUCTION DETAILS

SHEET NUMBER
6.1



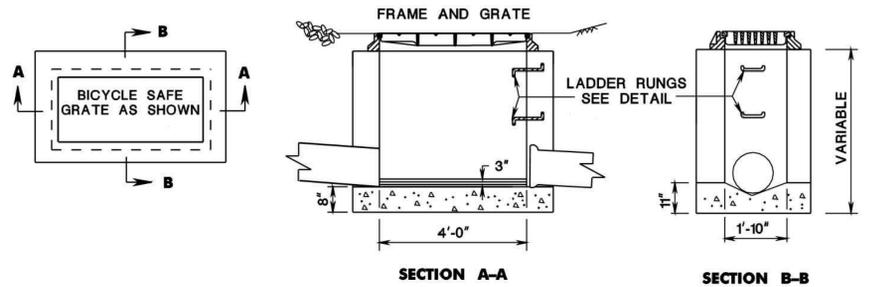
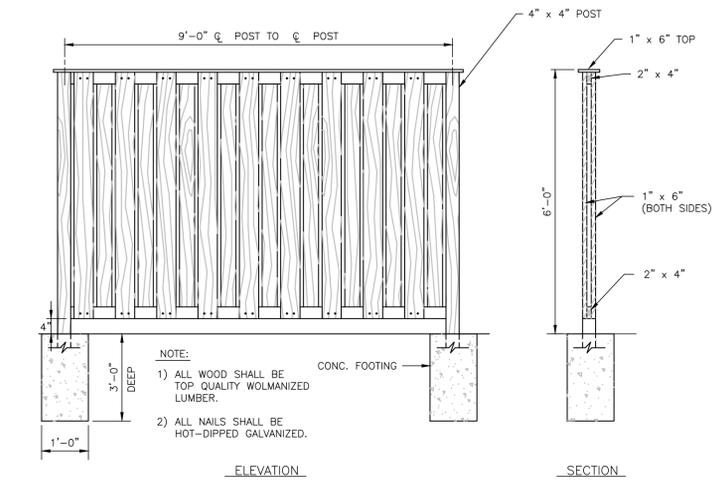
NOTE:
1. CONTRACTOR TO UTILIZE TYPE "A" INLET GRATE AND FRAME PATTERN NUMBER 3405, BY CAMPBELL FOUNDRY COMPANY, OR APPROVED EQUAL.

WEIGHTS
WEIGHT OF FRAME = 240#
WEIGHT OF GRATE = 300 ± 15 LBS

6' HIGH BOARD ON BOARD FENCE 1
Scale= NTS 6.1

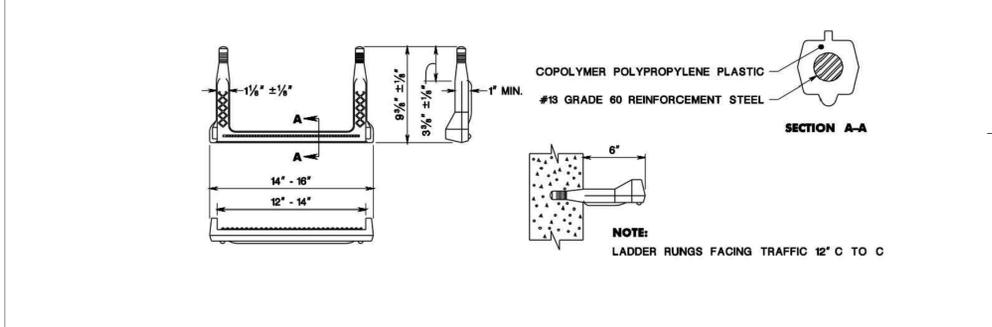
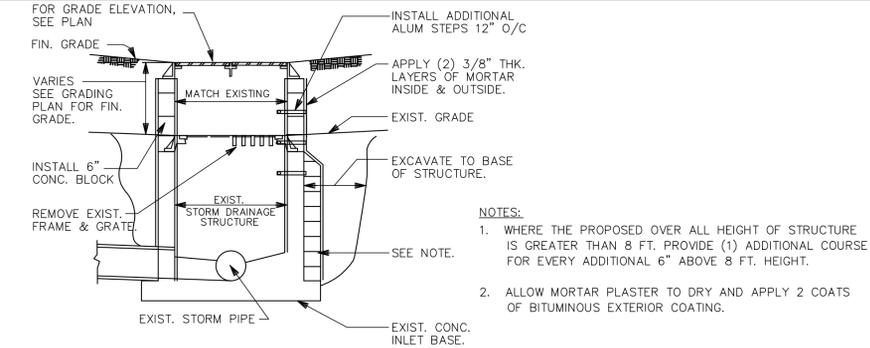
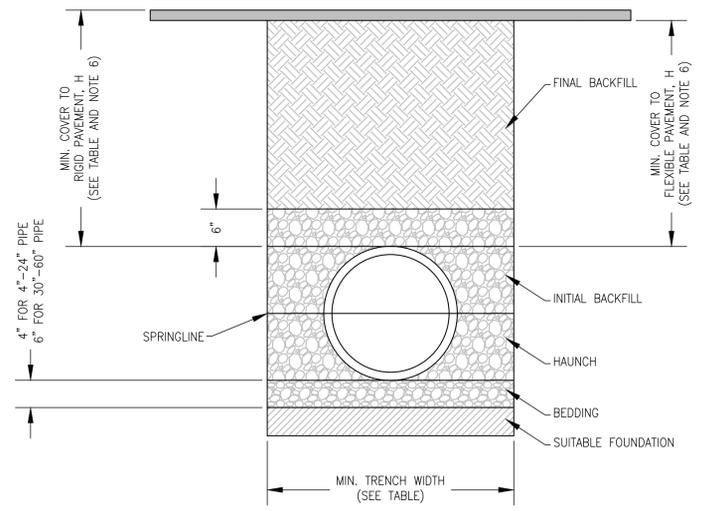
TYPE "A" STORM INLET 2
Scale= NTS 6.1

TYPE "A" INLET GRATE AND FRAME 3
Scale= NTS 6.1



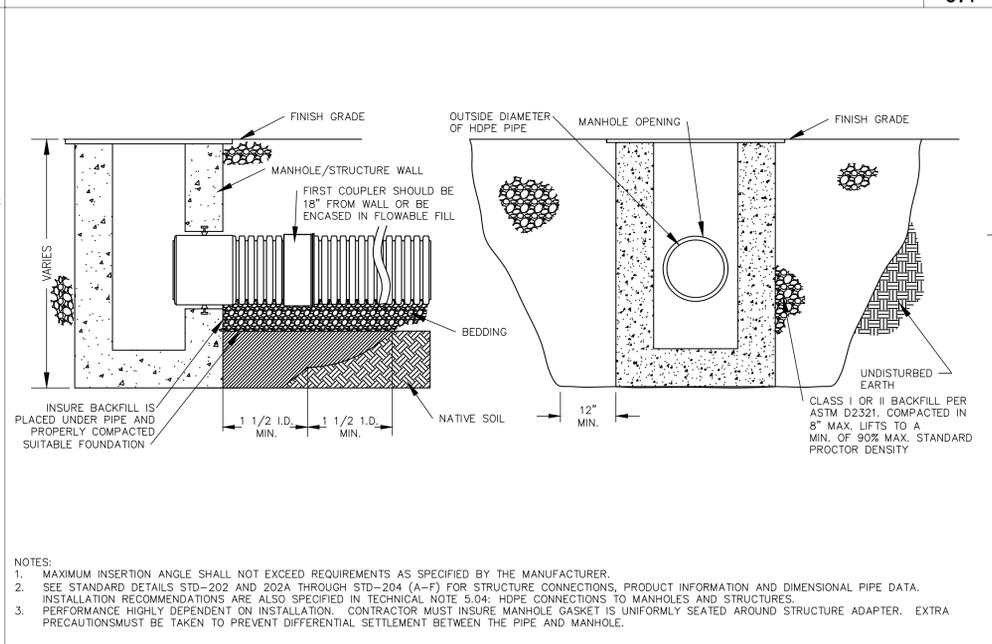
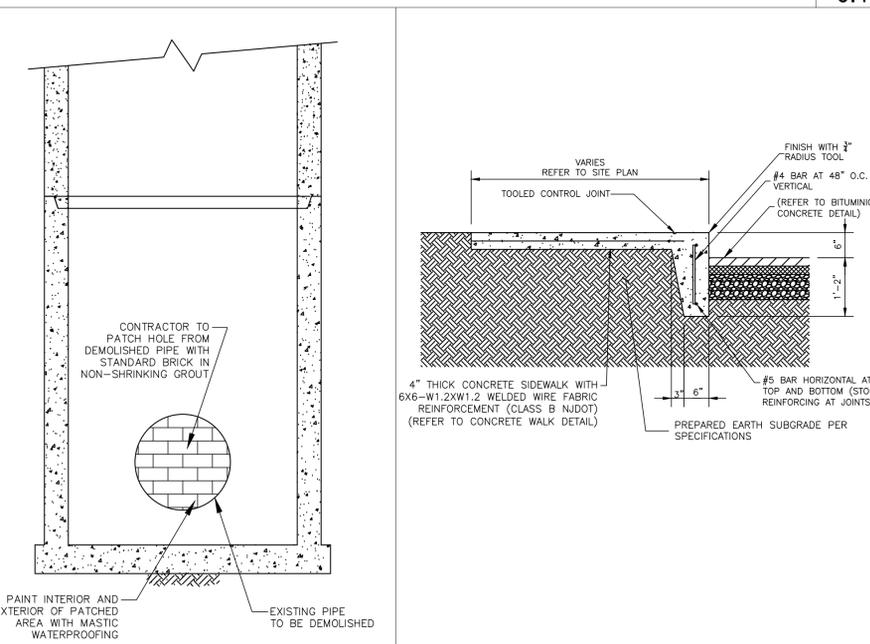
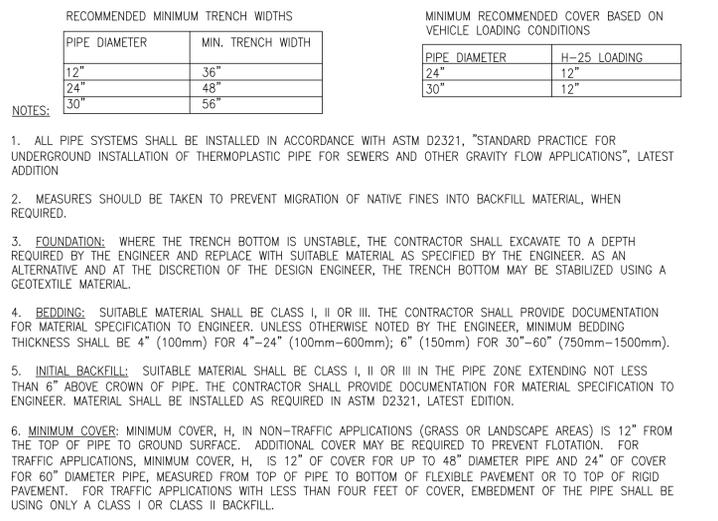
STORM INLET STRUCTURE MODIFICATION 4
Scale= NTS 6.1

LADDER RUNG 5
Scale= NTS 6.1



TURNED DOWN CONCRETE CURB 8
Scale= NTS 6.1

STORM CONNECTION 9
Scale= NTS 6.1



NOTES:
1. MAXIMUM INSERTION ANGLE SHALL NOT EXCEED REQUIREMENTS AS SPECIFIED BY THE MANUFACTURER.
2. SEE STANDARD DETAILS STD-202 AND 202A THROUGH STD-204 (A-F) FOR STRUCTURE CONNECTIONS, PRODUCT INFORMATION AND DIMENSIONAL PIPE DATA. INSTALLATION RECOMMENDATIONS ARE ALSO SPECIFIED IN TECHNICAL NOTE 5.04: HDPE CONNECTIONS TO MANHOLES AND STRUCTURES.
3. PERFORMANCE HIGHLY DEPENDENT ON INSTALLATION. CONTRACTOR MUST INSURE MANHOLE GASKET IS UNIFORMLY SEATED AROUND STRUCTURE ADAPTER. EXTRA PRECAUTIONS MUST BE TAKEN TO PREVENT DIFFERENTIAL SETTLEMENT BETWEEN THE PIPE AND MANHOLE.

HDPE STORM PIPE BEDDING 6
Scale= NTS 6.1

STORM MANHOLE REPAIR 7
Scale= NTS 6.1

TURNED DOWN CONCRETE CURB 8
Scale= NTS 6.1

STORM CONNECTION 9
Scale= NTS 6.1

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PROFESSIONAL SEAL



PROFESSIONAL IN CHARGE
STEPHEN POWERS
 PROFESSIONAL ENGINEER
 LICENSE NO. 24GE04773100

PROJECT MANAGER
 RICHARD PROCANIK

QUALITY CONTROL
 RICHARD PROCANIK

DRAWN BY
 THOMAS WIENCKOWSKI

PROJECT NAME
111 IDEATION WAY PARKING LOT

NUTLEY NEW JERSEY

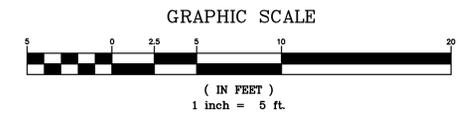
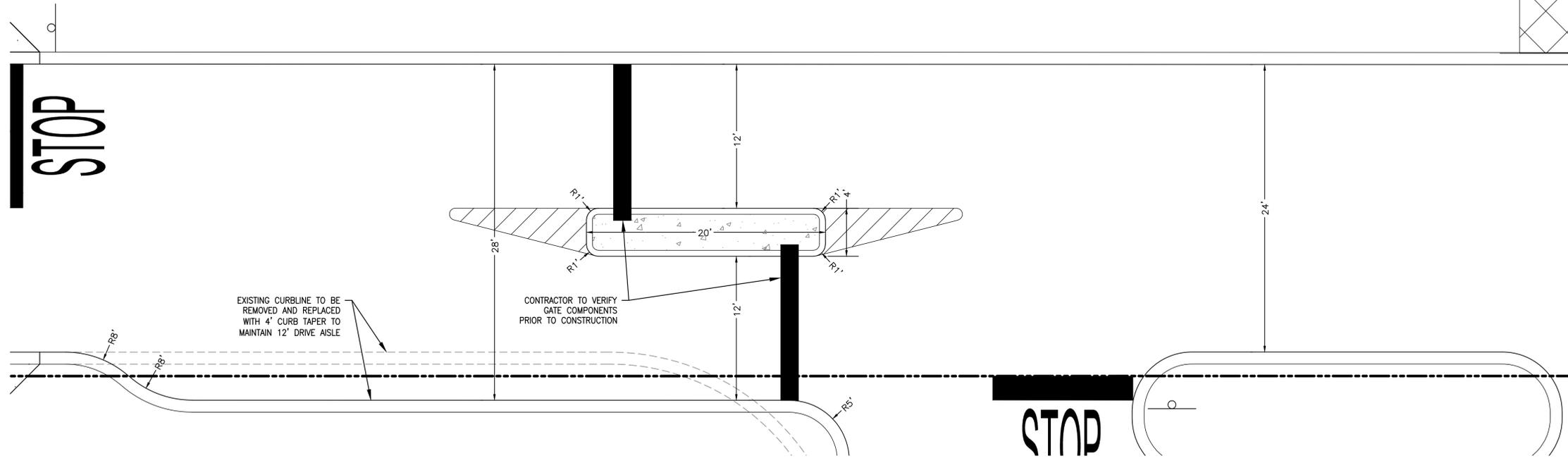
EXISTING BLOCK 300 LOT 1 & 1.05
 PROPOSED LOT 1.05A
 TOWNSHIP OF NUTLEY
 ESSEX COUNTY, NJ
 ZONING DISTRICT: RRP-2A
 ROCHE REDEVELOPMENT PLAN PHASE IIA

PROJECT NUMBER
 20161711.0

SHEET TITLE
CONSTRUCTION DETAILS

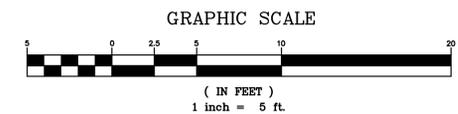
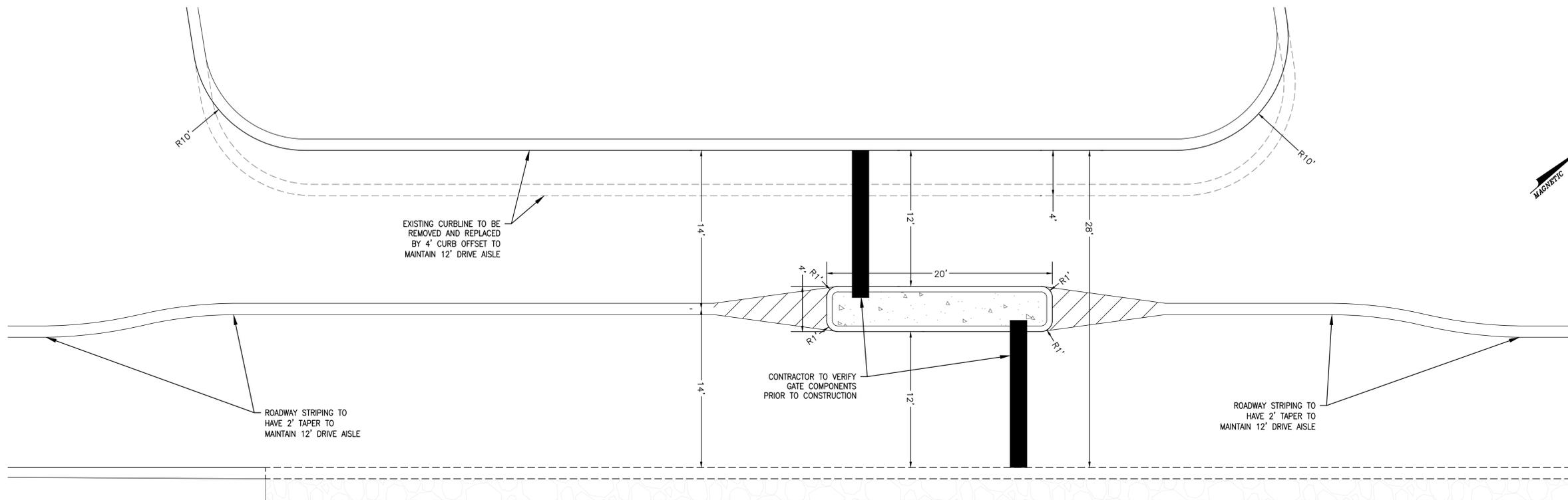
SHEET NUMBER

6.2



PROPOSED WEST GATE ENLARGEMENT DETAIL 1

Scale= 1" = 5' 6.2



PROPOSED EAST GATE ENLARGEMENT DETAIL 2

Scale= 1" = 5' 6.2



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PROFESSIONAL IN CHARGE
STEPHEN POWERS
PROFESSIONAL ENGINEER
LICENSE NO. 24GE04773100

PROJECT MANAGER
RICHARD PROCANIK

QUALITY CONTROL
RICHARD PROCANIK

DRAWN BY
THOMAS WIENCKOWSKI

PROJECT NAME
111 IDEATION WAY PARKING LOT

NUTLEY NEW JERSEY

EXISTING BLOCK 300 LOT 1 & 1.05
PROPOSED LOT 1.05A
TOWNSHIP OF NUTLEY
ESSEX COUNTY, NJ
ZONING DISTRICT: RRP-2A
ROCHE REDEVELOPMENT PLAN PHASE IIA

PROJECT NUMBER
20161711.0

SHEET TITLE
LIGHTING PLAN

SHEET NUMBER
7.0

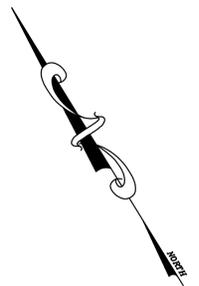
LEGEND

----- PROPERTY LINE

GENERAL LIGHTING NOTES

- REFER TO SHEET 6.0/DETAIL 10 FOR LIGHTING POLE BASE DETAILS.
- SITE LIGHTING SHALL BE TURNED OFF AFTER 11 PM.

- SITE LIGHTING:**
- (9) LIGHT POLES TO REMAIN IN PLACE
 - (5) LIGHT POLES TO BE RELOCATED
 - (4) LIGHT POLES TO BE ADDED
 - (1) LIGHT FIXTURE TO BE ROTATED



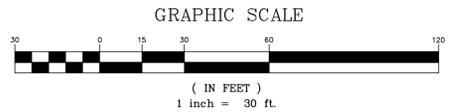
Luminaire Schedule

Symbol	Qty	Label	Catalog Number	Arrangement	LLF	Arr. Watts	Description
⊙	2	MPTC	MPTC-55W32LED3K-G2-LE4	SINGLE	1.000	55.9	Pole mounted @ 16'
⊙	11	AR	AR3E35-6013K	SINGLE	1.000	65	Pole mounted @ 16'
⊙	6	AR	AR3P70-8013K	SINGLE	1.000	186.3	Pole mounted @ 25'

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
111 Ideation Way	Illuminance	Fc	2.22	6.4	0.5	4.44	12.80

NOTE: CALCULATION SUMMARY IS BASED ON FOOTCANDLES WITHIN THE PARKING LOT AREAS ONLY.



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PROFESSIONAL SEAL



PROFESSIONAL IN CHARGE
STEPHEN POWERS
 PROFESSIONAL ENGINEER
 LICENSE NO. 24GE04773100

PROJECT MANAGER
 RICHARD PROCANIK

QUALITY CONTROL
 RICHARD PROCANIK

DRAWN BY
 THOMAS WIENCKOWSKI

PROJECT NAME
111 IDEATION WAY PARKING LOT

NUTLEY NEW JERSEY

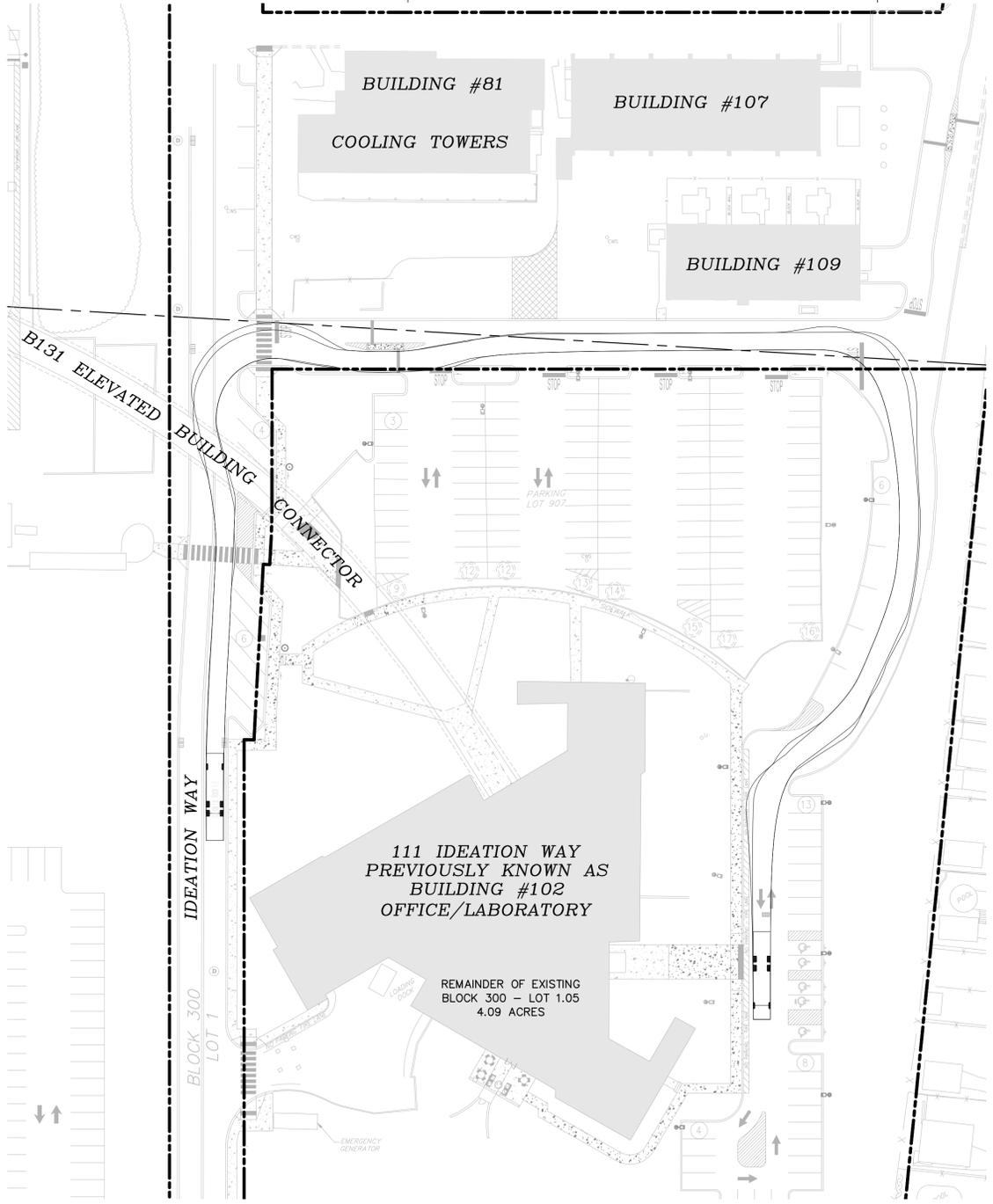
EXISTING BLOCK 300 LOT 1 & 1.05
 PROPOSED LOT 1.05A
 TOWNSHIP OF NUTLEY
 ESSEX COUNTY, NJ
 ZONING DISTRICT: RRP-2A
 ROCHE REDEVELOPMENT PLAN PHASE IIA

PROJECT NUMBER
 20161711.0

SHEET TITLE
FIRE TRUCK CIRCULATION PLAN

SHEET NUMBER

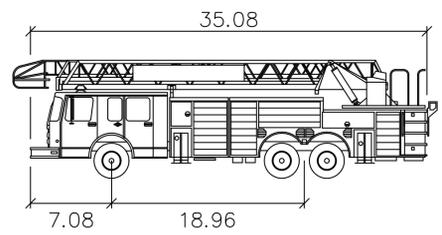
8.0



FIRE TRUCK CIRCULATION ENTERING SITE

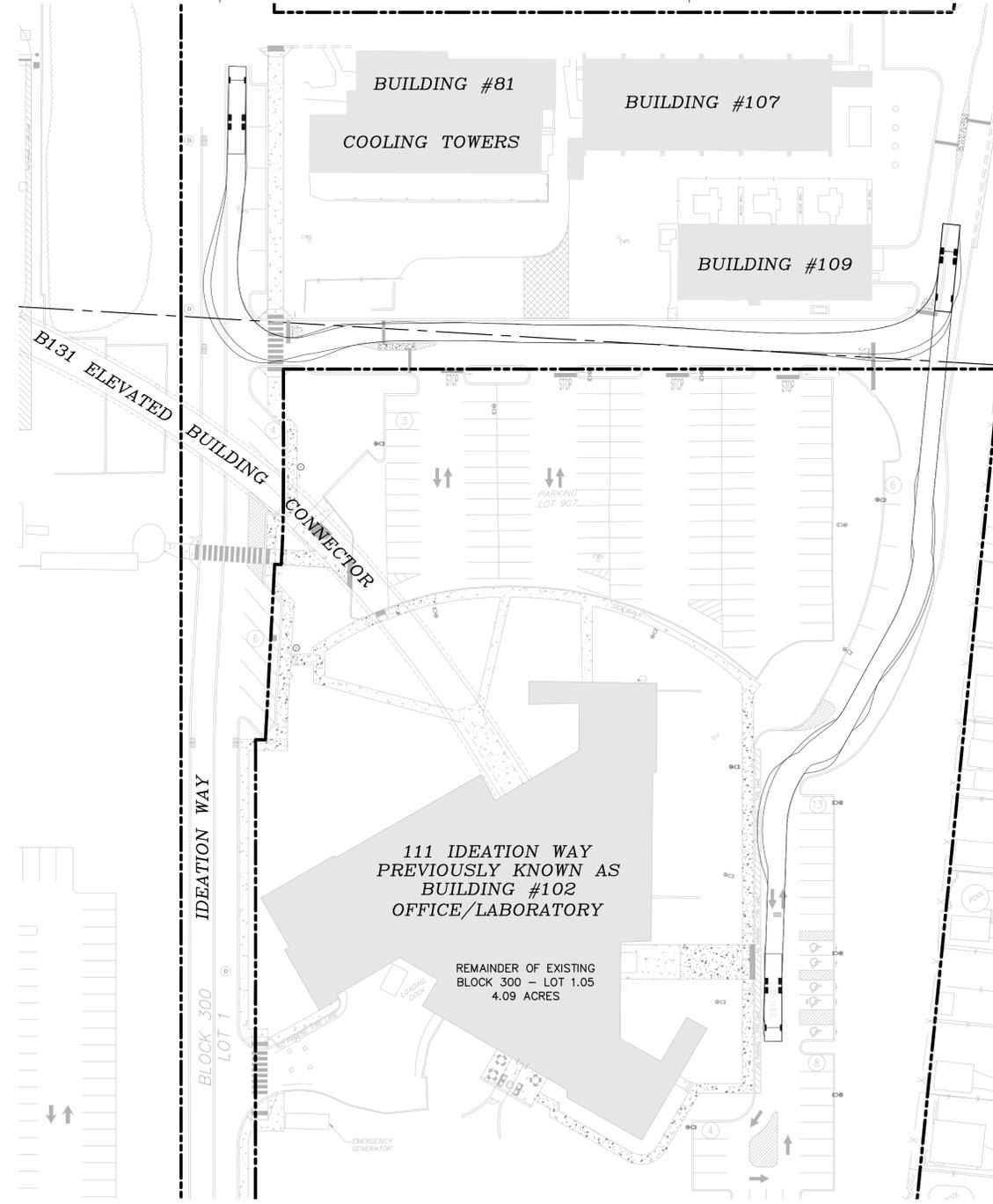
SCALE: 1"=40'

1
8.0



Nutley Fire Truck

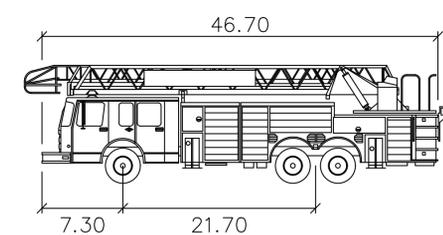
	feet
Width	: 8.17
Track	: 6.83
Lock to Lock Time	: 6.0
Steering Angle	: 40.3



FIRE TRUCK CIRCULATION EXITING SITE

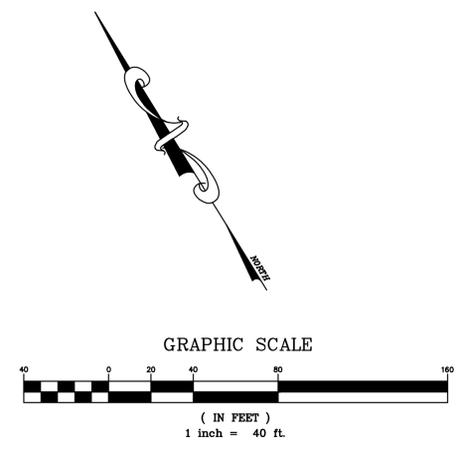
SCALE: 1"=40'

2
8.0



CLIFTON F.D. TRUCK T-2

	feet
Width	: 9.24
Track	: 9.24
Lock to Lock Time	: 6.0
Steering Angle	: 37.4



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PROJECT TEAM

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ISSUE/REVISION RECORD

DATE	DESCRIPTION
07/07/20	BD SET
07/21/20	PLANNING BOARD SUBMISSION

PROFESSIONAL SEAL



PROFESSIONAL IN CHARGE
STEPHEN POWERS
PROFESSIONAL ENGINEER
LICENSE NO. 24GE04773100

PROJECT MANAGER
R. PROCANIK

QUALITY CONTROL
R. PROCANIK

DRAWN BY
F. MADDOX

PROJECT NAME

**ON3 -
111 IDEATION WAY
PARKING LOT**

**NUTLEY
NEW JERSEY**



PROJECT NUMBER
20161711.0

SHEET TITLE
**111 IDEATION WAY
LANDSCAPE
PLAN**

SHEET NUMBER

L-1.0

LANDSCAPE CALCULATIONS:

AREA	REQUIRED:	PROVIDED:
PARKING LOT INTERIOR LANDSCAPE	5%	13%
		(6,563 SF INTERIOR LANDSCAPE AREA / 51,159 SF PARKING
1 TREE PER 5 PARKING SPACES	8 TREES (38 NEW SPACES / 5 = 7.6)	8 TREES

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
	PC	2	PYRUS CALLERYANA 'GLEN'S FORM' TM	CHANTICLEER PEAR	B & B	3" CAL	10' MIN.
	UP	6	ULMUS AMERICANA 'PRINCETON'	AMERICAN ELM	B & B	3" CAL	
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	
	IC	8	ILEX GLABRA 'COMPACTA'	COMPACT INKBERRY HOLLY	#03/3 GAL		
DECIDUOUS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	
	CS	3	CORNUS ALBA 'SIBIRICA' FULL WELL ROOTED	REDBARK DOGWOOD	B & B		
SHRUB AREAS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT		
	JUN	137	JUNIPERUS HORIZONTALIS 'WILTONII'	BLUE RUG JUNIPER	3 GAL		
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT		
	HO	47	HEMEROCALLIS X 'STELLA DE ORO'	STELLA DE ORO DAYLILY	1 GAL@ 24" O.C.		
	SEED	18,847 SF	KENTUCKY BLUE GRASS AND TURF-TYPE TALL FESCUE REFER TO SOIL EROSION PLANS	SEED MIX	SEED		
	NR	23	NEPETA RACEMOSA 'WALKER'S LOW'	CATMINT	1 GAL@ 24" O.C.		
	PVN	102	PANICUM VIRGATUM 'NORTHWIND' FULL WELL ROOTED IN POT	SWITCH GRASS	3 GAL		
	SH	68	SARCOCOCCA HOOKERIANA HUMILIS FULL WELL ROOTED IN POT	SWEET BOX	3 GAL		

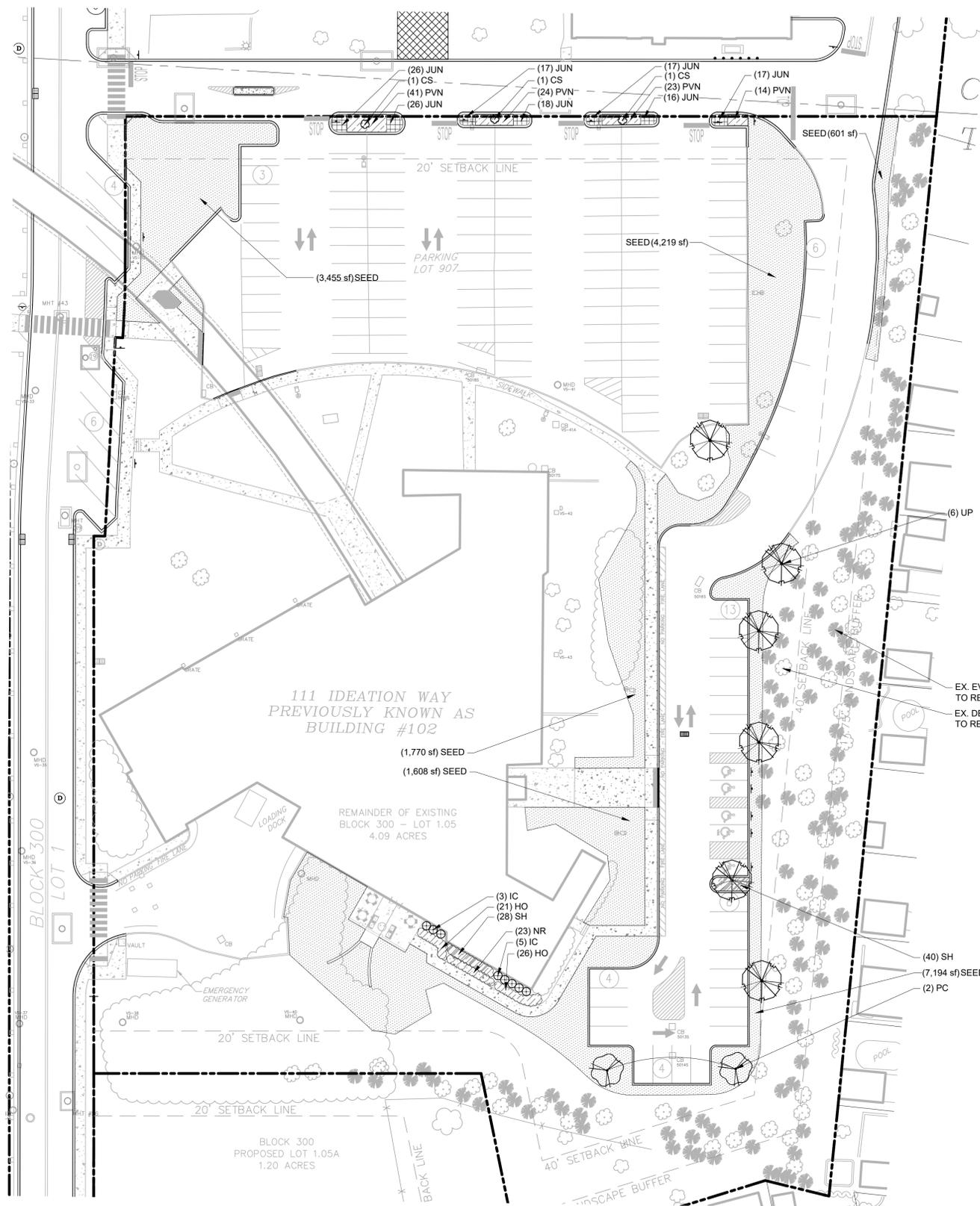
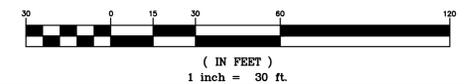
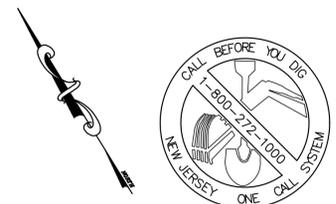
TREE CALIPER MEASUREMENTS ARE TO BE MEASURED AT A PLANTED HEIGHT OF 4.5 FEET. SHRUB HEIGHT MEASUREMENTS ARE TO BE AS MEASURED FROM TOP OF ROOTBALL (TYP.).

MAINTENANCE OF LANDSCAPING:

THE OWNER, TENANT, OR AGENT, IF ANY, SHALL BE RESPONSIBLE FOR PROVIDING, PROTECTING AND MAINTAINING ALL LANDSCAPING IN HEALTHY GROWING CONDITIONS, REPLACING IT WHEN NECESSARY TO ENSURE CONTINUOUS CONFORMANCE WITH THESE GUIDELINES AND KEEPING IT FREE FROM REFUSE AND DEBRIS. MAINTENANCE SHALL INCLUDE THE REPLACEMENT OF ALL DEAD PLANT MATERIAL WITHIN THE GUARANTEED CONTRACT PERIOD OF TWO (2) YEARS.

GENERAL NOTES:

1. GRAPHIC SYMBOLS TAKE PRECEDENCE OVER WRITTEN QUANTITIES AND KEYS ON PLAN.
2. CONTRACTOR TO REPAIR AND REPLACE ANY PLANT MATERIAL DAMAGED BY THIS CONSTRUCTION OUTSIDE PROJECT LIMITS. ANY EXISTING PLANT MATERIAL DAMAGED BY CONTRACTOR DURING CONSTRUCTION SHALL BE REPLACED WITH LIKE MATERIAL OF SIMILAR SPECIES AND SIZE AT THE CONTRACTOR'S EXPENSE WITH NO ADDITIONAL COST TO OWNER OR TENANT.
3. TWO WEEKS PRIOR TO PLANTING, THE CONTRACTOR SHALL SUBMIT TO THE OWNER / OWNER'S REPRESENTATIVE A PLANT PHOTO SUBMITTAL FOR APPROVAL. IF REQUESTED, BY THE OWNER, THE LANDSCAPE ARCHITECT WILL TAG THE MATERIAL.
4. EACH PHOTO SHALL CLEARLY SHOW THE SIZE, FORM, AND BRANCHING STRUCTURE AND QUALITY OF THE PLANT.
5. EACH PHOTO SHALL HAVE THE PLANT NAME, SIZE AND SPECIFICATIONS LABELED ON THE PHOTO.
6. ANY PHOTO SHOWING A GROUP OF PLANTS CLOSE TOGETHER WILL NOT BE ACCEPTED.
7. NO PARTIAL OR INCOMPLETE SUBMITTAL WILL BE ACCEPTED FOR REVIEW. ANY REJECTED SPECIES WILL BE SUBJECT TO RESUBMITTAL.
8. REFER TO THE LATEST CIVIL PLANS FOR DISTURBED AREAS TO BE RESTORED. ADDITIONAL RESTORATION MAY BE NEEDED DUE TO FIELD CONDITIONS. SEE CIVIL SITE PLAN.
9. TREE WATERING BAGS ARE RECOMMENDED FOR ALL PROPOSED TREES AT THE TIME OF INSTALLATION.



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PROJECT TEAM

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PARKING LOT**

**NUTLEY
NEW JERSEY**



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20161711.0

SHEET TITLE

**111 IDEATION WAY
LANDSCAPE NOTES
& DETAILS**

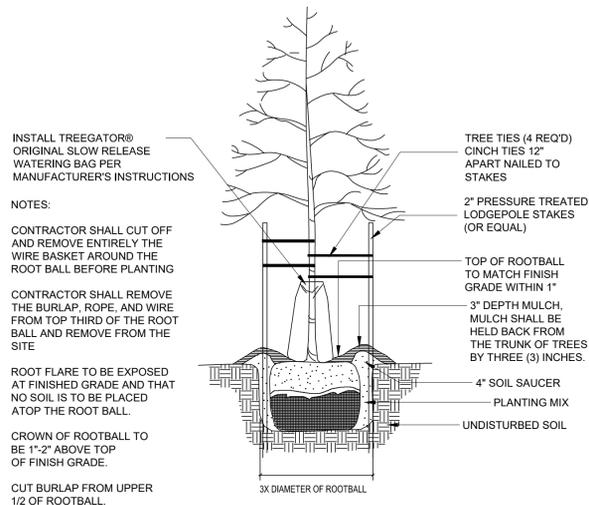
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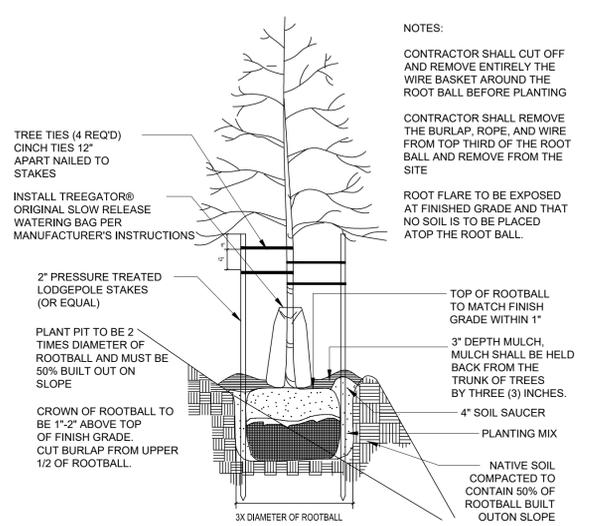
NOTES:

LANDSCAPE PLANTING

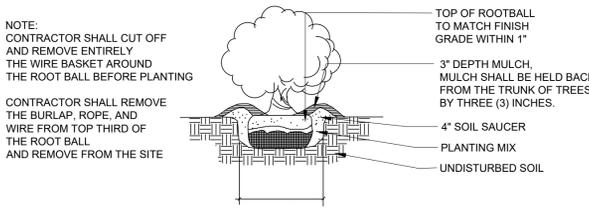
- THE LANDSCAPE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE SITE CONDITIONS AND VERIFY THEM TO HIS SATISFACTION. THE LANDSCAPE CONTRACTOR SHALL ACCEPT THE SITE CONDITIONS AND DO THE WORK SPECIFIED WITHOUT ADDITIONAL COMPENSATION FOR POSSIBLE VARIATION FROM GRADES AND CONDITIONS SHOWN.
 - PRIOR TO CONSTRUCTION THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING CONSTRUCTION. SHOULD THE LANDSCAPE CONTRACTOR CAUSE DAMAGE TO ANY UTILITIES HE SHALL MAKE NECESSARY REPAIRS AS QUICKLY AS POSSIBLE WITHOUT ADDITIONAL COMPENSATION.
 - ALL PLANT MATERIAL SIZES AND MEASUREMENTS, INCLUDING TRUNK, HEAD, AND SPREAD SIZES, CONTAINER AND ROOTBALL SIZES, QUALITY AND CONDITION SHALL CONFORM TO THE STANDARDS SET FORTH IN THE CURRENT ISSUE OF, "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI.Z60.1).
 - ALL PLANT MATERIAL ARE SUBJECT TO THE APPROVAL BY THE OWNER, AND MAY BE INSPECTED AT THE PLACE OF GROWTH OR ON SITE PRIOR TO PLANTING. LANDSCAPE ARCHITECT RETAINS THE RIGHT TO REJECT ANY PLANT MATERIAL WHICH IS NOT TO HIS SATISFACTION.
 - THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING, IN FULL, ALL LANDSCAPE PLANTING WORK (INCLUDING WATERING, SPRAYING FOR INSECTS AND DISEASE, MULCHING, MOWING, FERTILIZING, CULTIVATING, EDGING AND WEEDING) FOR A PERIOD OF 90 DAYS AFTER ACCEPTANCE BY THE OWNER.
 - THE LANDSCAPE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL LANDSCAPE PLANTING WORK AND MATERIALS FOR A PERIOD OF ONE (1) FULL YEAR FROM THE DATE THE WORK HAS BEEN APPROVED BY THE OWNER AS INSTALLED. ALL PLANT MATERIAL NOT HEALTHY GROWING CONDITION SHALL BE REMOVED IMMEDIATELY AND REPLACED AS SOON AS POSSIBLE WITH LIKE KIND AND SIZE AT NO CHARGE TO THE OWNER.
 - THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING SOIL SAMPLES FROM SOIL AND NATIVE OR FILL SOILS AT THE SITE AND SUBMITTING THEM TO AN APPROVED SOIL TESTING LABORATORY, AND OBTAIN ANALYSES AND RECOMMENDATIONS FOR AMENDING THESE SOILS AND FERTILIZATION OF SPECIFIED PLANT MATERIAL AT A MINIMUM ALL PLANTING AREAS SHALL BE FERTILIZED WITH 12 LBS. /1000 SF OF 10-10-10 FERTILIZER.
 - ALL PLANTING AREAS, SHRUB BEDS AND TREES SHALL BE MULCHED WITH A MINIMUM COMPACTED DEPTH OF THREE (3) INCHES OF MULCH AS SPECIFIED. PRIOR TO MULCHING APPLY A PRE-EMERGENT HERBICIDE (APPROVED BY OWNER) AS RECOMMENDED BY THE MANUFACTURER, TO PREVENT RECURRING WEED AND GRASS GROWTH.
 - CONTRACTOR IS TO TAKE SPECIAL CARE WHEN INSTALLING NEW PLANT MATERIAL SO AS NOT TO DISTURB ANY EXISTING PLANTINGS DESIGNATED TO REMAIN. ANY EXISTING PLANT MATERIAL DAMAGED BY CONTRACTOR DURING CONSTRUCTION SHALL BE REPLACED WITH LIKE MATERIAL OF SIMILAR SPECIES AND SIZE AT THE CONTRACTOR'S EXPENSE AND NO ADDITIONAL COST TO OWNER.
- TURF AND LAWNS**
- ALL DISTURBED AREAS SHALL RECEIVE 4" MINIMUM OF TOPSOIL (COMPACTED) AND GRASSED WITH SOD OR SEED AS INDICATED ON PLAN. LANDSCAPE CONTRACTOR TO COORDINATE HIS/HER WORK WITH OTHER TRADES REGARDING FINISH GRADING. IF AVAILABLE CONTRACTOR IS TO USE STOCKPILED TOPSOIL ONSITE. IF NOT AVAILABLE THE LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR IMPORTING THE TOPSOIL NECESSARY TO MEET FINISH GRADE.
 - TOPSOIL, SHALL BE FERTILE, FRIABLE AND REPRESENTATIVE OF LOCAL PRODUCTIVE SOIL, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH AND FREE OF CLAY LUMPS, SUBSOIL, NOXIOUS WEEDS OR OTHER FOREIGN MATTER SUCH AS STONES, ROOTS, STICKS AND OTHER EXTRANEIOUS MATERIALS: NOT FROZEN OR MUDDY. PH OF TOPSOIL TO RANGE BETWEEN 5.5 AND 7.5.
 - SODDED AREAS SHALL BE GRASSED WITH SPECIES PER THE PLANT SCHEDULE. SOD SHALL BE LAID WITH CLOSE, TIGHT FITTING JOINTS, WHICH SHALL BE LAID IN ROWS PARALLEL TO THE CONTOUR LINES. ALL SODDED AREAS SHALL BE ROLLED TO ACHIEVE A SMOOTH, UNIFORM LAWN.
 - SEEDDED AREAS SHALL BE GRASSED WITH SPECIES PER THE PLANT SCHEDULE AT A RATE OF (5) POUNDS PER 1000 SQ. FT. OF GRASSED AREA. SEED MAY BE APPLIED EITHER BY A MECHANICAL SPREADER OR HYDROSEEDING. WHICHEVER METHOD IS CHOSEN A THICK STAND OF GRASS SHALL BE ACHIEVED WITHIN 21 DAYS OR A SECOND OVERSEEDING WILL BE REQUIRED.
 - FERTILIZATION AND SOIL AMENDMENTS FOR ALL GRASSED AREAS SHALL BE AS PER LABORATORY ANALYSIS. HYDROSEEDING MAY BE SUBSTITUTED FOR MECHANICAL SEEDING BY MIXING SEED, FERTILIZER AND PULVERIZED MULCH IN WATER, USING EQUIPMENT SPECIFICALLY DESIGNED FOR HYDROSEED APPLICATION. MIX UNTIL UNIFORMLY BLENDED INTO HOMOGENEOUS SLURRY SUITABLE FOR HYDRAULIC APPLICATION. APPLY UNIFORMLY AT A RATE AS REQUIRED TO OBTAIN SPECIFIED SEEDING RATE.
 - ANY EXISTING LAWN AREA DISTURBED BY CONSTRUCTION IS TO BE REPAIRED TO ITS ORIGINAL CONDITION BY SEEDING AT NO ADDITIONAL COST TO THE OWNER.
 - REFER TO THE LATEST CIVIL PLANS FOR DISTURBED AREAS TO BE RESTORED. ADDITIONAL RESTORATION MAY BE NEEDED DUE TO FIELD CONDITIONS. SEE CIVIL SITE PLAN.
- TREES AND SHRUBS**
- ALL TREES LOCATED IN GRASSED AREAS SHALL BE PLANTED AS PER DETAIL AND MULCHED WITH AT LEAST FOUR (4) FOOT DIAMETER OF SHREDDED BARK MULCH, TO A MINIMUM 3" DEPTH.
 - SHRUB BEDS SHALL BE MOUNDED WITH TOPSOIL A MINIMUM OF 6" ABOVE TOP OF CURB AND SHALL BE MULCHED WITH A 3" DEPTH OF SHREDDED BARK MULCH.
 - TREES SHALL BE PLANTED NO CLOSER THAN FIVE (5) FEET FROM BACK OF SIDEWALK OR BUILDING STRUCTURE.
 - LOCATION AND LAYOUT OF ALL SHRUBS AND TREES SHALL BE APPROVED BY LANDSCAPE ARCHITECT.
 - ALL TREE PROTECTION DEVICES ARE TO BE INSTALLED PRIOR TO START OF LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPING IS INSTALLED.
 - ALL TREES ARE TO BE STAKED AND GUYED PER PLANTING DETAILS.



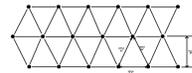
1 TREE PLANTING DETAIL
NOT TO SCALE 329343.39-01



2 TREE PLANTING DETAIL (SLOPE)
NOT TO SCALE 329343.39-02



3 SHRUB PLANTING DETAIL
NOT TO SCALE DETAIL-FIELD



GROUND COVER TO BE PLANTED ON EQUIDISTANT TRIANGULAR GRID

**SEE PLAN FOR REQUIRED SPACING

SPACING "D"	ROW WIDTH "A"	NO. OF PLANTS/SF
6" O.C.	5.20"	4.61
8" O.C.	6.93"	2.60
10" O.C.	8.66"	1.66
12" O.C.	10.44"	1.15
15" O.C.	13.00"	.738
18" O.C.	15.60"	.512
24" O.C.	20.80"	.330

4 GROUND COVER PLANTING DETAIL
NOT TO SCALE 329333.83-01